

**Southeast Planning Review and Adjustment Committee /
Comité de révision de la planification de la Commission du Sud-Est**

/

Staff Report / Rapport du personnel

Subject / Objet : Conditional Use / Usages Conditionnel

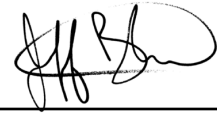
File number / Numéro du fichier 24-0011

From / De :



Patrick Gaudet
Development Officer / Agent
d'aménagement

Reviewed by / Révisé par :



Jeff Boudreau
Manager of Subdivision Approval /
Gestionnaire d'approbation des

General Information / Information générale

Applicant / Requérant :

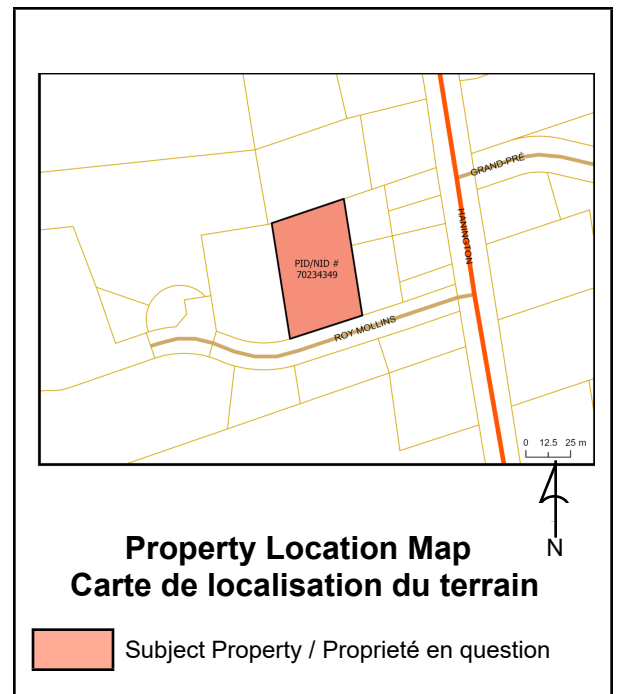
Andy Bourque ABM Homes

Landowner / Propriétaire :

Geoff LeBlanc 737663 NB Inc.

Proposal / Demande :

Conditional use application for two (2) 2-storey townhouse-style multi-unit dwellings on one property. 9 units per building for a total of 18 units. / *Demande d'usage conditionnel pour deux (2) habitations multifamiliales de 2 étages de style maison en rangées sur une propriété. 9 unités par bâtiment pour un total de 18 unités.*



Site Information / Information du site

PID / NID: 70234349

Lot Size / Grandeur du lot: 2700 m²

Location / Endroit :

Roy Mollins Drive, Ville de Shediac / Town of Shediac

Current Use / Usage présent :

Vacant

Zoning / Zonage :

Résidentielle à haute densité (R3) / High Density Residential (R3)

Future Land Use Designation / Désignation de l'utilisation future du sol :

Surrounding Use & Zoning / Usage des environs & Zonage :

Surrounding Uses: Multi-unit dwellings, Single-unit dwellings, mini-home park, grocery store, retail stores / *Usages avoisinants: Bâtiments multifamiliales, habitations unifamiliales, parc de mini-maisons, épicerie, magasins de détail*

Surrounding Zoning : High Density Residential (R3), General Commercial (CG), and Mini Home Residential (RM) / *Zonage environnant: Résidentielle à haute densité (R3). Commerce général (CG). et*

Municipal Servicing / Services municipaux:

Eau et égout / *Water and Sewer*

Policies / Politiques

SHEDIAC PLAN MUNICIPAL P-14-36 / SHEDIAC MUNICIPAL PLAN P-14-36

3.2.1 Le développement durable / Sustainable development

1. Council's policy is to combine land development policies with urban trends such as New Urbanism, Smart Growth and Smart Code; / *Le Conseil a pour principe d'incorporer des principes en matière d'aménagement du territoire des courants urbanistiques du Nouvel Urbanisme, Smart Growth et Smart Code;*
2. Council's policy is to encourage compact developments that group a mix of residential, commercial, and institutional uses; / *Le Conseil a pour principe d'encourager les développements compacts qui regroupent une mixité des usages résidentiels, commerciaux et institutionnels;*
3. Council's policy is to favour developments that are adequately serviced by municipal services and that are environmentally friendly; / *Le Conseil a pour principe de favoriser des développements qui sont adéquatement desservis par les services municipaux et respectueux de l'environnement;*

3.2.2 Housing and residential boroughs / L'habitation et les arrondissements résidentiels

1. Council's policy is to promote a wide array of housing categories. / *Le Conseil a pour principe de favoriser diverses catégories de logements.*
2. Council's policy is to allow, within the municipality, a variety of housing options that meet the needs of a diverse population, subject to Section 39 of the Act. / *Le Conseil a pour principe de permettre, à l'intérieur de la municipalité, une variété d'habitations pour répondre aux besoins divers de la population, sous réserve de l'article 39 de la Loi.*
3. Council's policy is to encourage the construction of affordable housing close to the main arteries, where there is a variety of uses. / *Le Conseil a pour principe d'encourager la construction de logements abordables près des artères où l'on retrouve une mixité des usages.*
4. Council's policy is to promote the maintenance and contribution of dwelling units for people with different income levels in every neighbourhood unit, as long as they are compatible with those units. / *Le Conseil a pour principe de favoriser le maintien et l'apport de logements pour les personnes ayant des niveaux de revenus différents dans toutes les unités de voisinage, pourvu qu'ils soient compatibles avec ces unités.*
5. Council's policy is to frame the land occupation density according to each residential sector. / *Le Conseil a pour principe d'encadrer la densité d'occupation du sol pour les secteurs résidentiels.*
7. Council's policy is to consider preparing a density bonus program for developments that will offer community facilities, affordable housing, or that will meet high environmental performance criteria. / *Le Conseil a pour principe de considérer l'élaboration d'un programme de boni de densification pour les développements qui offrent des équipements communautaires, des logements abordables ou qui satisfont à des critères de performances élevés en matière d'environnement.*

3.2.11 Urban design / Le design urbain

1. Council's policy is to encourage all new residential, commercial, and institutional development to follow the general provisions in terms of design, as shown in the zoning by-law / *Le Conseil a pour principe d'encourager que tous nouveaux développements résidentiels, commerciaux et institutionnels suivent les dispositions générales en matière de design tel qu'indiqué dans l'arrêté de zonage.*
3. Council's policy is to favour the insertion of buildings in boroughs that will improve the boroughs' appearance thanks to its design. / *Le Conseil a pour principe de favoriser l'insertion de bâtiments dans*

les arrondissements et dont leur design favorise à rehausser l'image de ces arrondissements.

7.8 Western Gateway Borough / Arrondissement Entrée Ouest

7.8.1 Development concept / Concept d'aménagement

The Western Gateway borough is definitely a sector that has seen and that will continue to see its share of large developments in the next few years. This section of town is characterized by several of the key elements of Smart Growth. Influenced by its proximity to Highways 11 and 15, there is a mix of uses and social classes, as well as a mix of housing topology. In fact, you will find single family dwellings, two family dwellings, multi unit dwellings, and mini homes in this borough. This wide array of uses, classes and types of dwellings are key indicators of an increasing concentration of people in this borough. / *L'arrondissement Entrée Ouest est certes un secteur qui a connu et est voué à connaître des développements importants au cours des prochaines années. Cette section de la ville est caractérisée par de nombreux principes clés du courant Smart Growth. Influencé par la proximité des routes 11 et 15, on note une mixité des usages et des classes sociales, de même qu'une mixité de typologie d'habitation. En effet, on retrouve des habitations unifamiliale, bi-familiale, multifamiliale et mini-maisons à l'intérieure de l'arrondissement. Cette mixité des usages, des classes et des types d'habitations sont des indicateurs propices à la densification de cet arrondissement.*

It is important to take advantage of the borough's location in order to provide essential services to the people of Shediac, and to benefit from the town's regional advantage (proximity to Highways 11 and 15). / *Il est important de tirer avantage de la localisation de l'arrondissement de manière à offrir des services de première nécessité aux résidents de Shediac en plus de tirer avantage de l'influence régionale de la ville (proximité de l'autoroute 11 et 15).*

7.8.2 Proposals related to the Western Gateway borough / Propositions relatives à l'arrondissement Entrée Ouest

1. It is proposed to maintain the integrity of existing neighbourhood residential units. / *Il est proposé de maintenir l'intégrité des unités de voisinage résidentielles existantes.*
2. It is proposed to consider current and future population needs in terms of housing. / *Il est proposé de tenir compte des besoins actuels et futurs de la population en matière de logement.*
3. It is proposed to encourage the construction of affordable housing close to those arteries that benefit from a mix of uses. / *Il est proposé d'encourager la construction de logements abordables près des artères où l'on retrouve une mixité des usages.*
4. It is proposed to have flexibility with developments so that council can support less traditional residential projects that include different types of housing or that group several uses. / *Il est proposé de maintenir une flexibilité au niveau des aménagements afin que le conseil puisse appuyer des projets résidentiels moins traditionnels comprenant différents types d'habitations ou même regroupant divers usages.*
5. It is proposed to promote medium density developments by favouring housing on upper floors and a mix of uses, especially along Main Street and Hanington Road. / *Il est proposé de favoriser une densité moyenne en favorisant du logement aux étages et une mixité des usages principalement le long de la rue Main et le chemin Hanington.*
6. It is proposed to require that a site plan be designed to optimize land use, thus creating a built environment that is enjoyable and efficient, before authorizing a residential and commercial development in this borough. / *Il est proposé d'exiger qu'un plan de site soit conçu afin d'optimiser l'usage des terrains tout en créant un cadre agréable et efficace avant d'autoriser un aménagement résidentiel et commercial dans le présent arrondissement.*
10. It is proposed to maintain a transition zone around commercial uses in order to minimize nuisances to other types of uses. / *Il est proposé de maintenir une zone de transition entourant les usages commerciaux afin de minimiser les nuisances envers les autres types d'usages.*

17. It is proposed to adapt municipal regulations that will allow buildings and constructions that specifically meet the needs of people with special needs. / *Il est proposé d'adapter la réglementation municipale afin de permettre l'aménagement de bâtiments et de structures qui répondent spécifiquement aux besoins des individus à besoins spéciaux.*

Zoning and/or Subdivision Regulation / Réglementations de zonage et/ou de lotissement

Definitions / Définitions

Dwelling, multiple unit means a building, other than a row-house containing three or more dwelling units but excludes hotels and motels; / *Habitation multifamiliale désigne un bâtiment, autre qu'une maison en rangée, comportant au moins trois logements à l'exclusion d'un hôtel ou d'un motel;*

SHEDIAC ZONING BY-LAW Z-14-44 / ARRÊTÉ DE ZONAGE DE SHEDIAC Z-14-44

11 High Density Residential Zone (R3) / Zone résidentielle à haute densité (R3)

11.1 Permitted uses / *Usages permis*

No land, building or structure shall be used for any purpose other than: / *Les terrains, bâtiments ou constructions ne peuvent être affectés qu'aux fins:*

a) one of the following main uses: / *de l'un des usages principaux suivants:*

(i) a two-unit, semi-detached, row house or multi-unit dwelling / *une habitation bi-familiale, jumelée, maison en rangée ou multifamiliale;*

26 Number of main buildings or structures on a lot / Nombre de constructions ou de bâtiments principaux sur un lot

26.1 Except in the CA, RM, IS and ID zones, no more than one building containing one or more residential dwelling units may be placed or erected on a lot, and no building or structure may be altered to become a second building containing a residential unit. / *Sauf dans les zones CA, RM, IS et AI, un seul bâtiment comprenant un ou plusieurs logements résidentiels peut être implanté, érigé ou modifié sur un lot, et aucune construction ni aucun bâtiment ne peut être modifié pour devenir un deuxième bâtiment contenant une unité résidentielle.*

26.3 Notwithstanding Section 26.1, more than one building containing eight or more residential dwelling units is permitted in an R3 Zone subject to terms and conditions set out by the Commission. / *Nonobstant l'article 26.1, plus d'un bâtiment contenant huit logements résidentielles ou plus est autorisé dans une zone R3, sous réserve des modalités et des conditions établies par la Commission.*

Internal Consultation & External Consultation / Consultations internes et externes

This request was discussed amongst SERSC planning and development staff. / *Cette demande a été discutée entre le personnel de planification et d'aménagement de la CSRSE.*

The Greater Shediac Sewerage Commission was consulted / *La Commission d'égout de Shediac et Banlieues a été consultés:*

“ The GSSC has verified does not have any objections.”

The local fire chief was consulted for the proposed development in regards to access for fire services and if the access is suitable for a fire truck / *Le chef des pompiers locaux a été consulté au sujet de l'accès pour les services d'incendie et si l'accès est convenable pour un camion de pompier pour le développement proposé:*

* The comments were provided in french. / *Les commentaires ont été fournis en français:*

“Pas de commentaires”

The Town of Shediac was consulted / *La Ville de Shediac a été consultés:*

“We reviewed the request and here is our list of comments which are typical for this type of development.

Engineering Drawings: Site Servicing Plan, Grading/Drainage Plan, Erosion and Sedimentation Control Plan.

Engineering design brief: Water system (Peak flows, Fire Flow requirements, etc.), Hydrant flow testing will be required, Storm system (Peak flows leaving the site, Zero net increase for Stormwater system, drainage design, quality, etc.)

Please note that the Town was able to locate an existing curb box (water service) for this lot. The curb box was staked out in the field by the Town. The sizing is unknown as there are no records of this water lateral. We also had the storm sewer video inspected yesterday and were able to confirm that the pipe for the catch basin located behind the curb in front of this lot is capped at the manhole in the street. Therefore, we believe that the catch basin was never installed behind the curb as shown on the as-builts/GIS. ”

Discussion

An application was received by the Southeast Regional Service Commission on January 23rd, 2024, for two multi-unit dwellings on the property bearing PID 70234349. The proposed buildings are two-storey in height and have 9 units each for a total of 18 units. The subject property is located on Roy Mollins Drive in Shediac and is within the Western Gateway Borough identified in the Shediac Municipal Plan. The borough has a mix of uses, and a mix of housing topologies such as multi-unit dwellings, two-unit dwellings, single-unit dwellings, and mini-homes. The Shediac Municipal Plan encourages the construction of higher-density residential developments as well as affordable housing within this borough as it is close to two arteries (Highway 11 and 15) and is in proximity to various amenities (grocery store, retail stores, etc.). The property is zoned High Density Residential (R3), which is the residential zone that permits the highest density of dwelling units on one lot within the Town of Shediac. For new residential building developments within this zone, a minimum of two units is required and there is no limit on the number of total units (the maximum number of units is typically constrained by the maximum lot coverage, maximum height, and public services capacity). The High Density Zone also requires residential buildings to be a minimum of two storeys but cannot exceed 15 metres in height (15 metres corresponds to buildings of approximately four or five storeys). The proposed buildings transition well into the environment, height-wise, being two-storeys. / *Le 23 janvier 2024, la Commission des services régionaux du Sud-Est a reçu une demande pour deux bâtiments multifamiliaux sur la propriété portant le numéro d'identification (NID) 70234349. Les bâtiments proposés sont d'une hauteur de deux étages et comptent 9 logements chacun pour un total de 18 logements. La propriété en question est située sur la promenade Roy Mollins à Shediac et fait partie de l'arrondissement Entrée Ouest identifié dans le plan municipal de Shediac. L'arrondissement présente une variété d'utilisations et de topologies d'habitation telles que des habitations multifamiliales, bi-familiales, unifamiliales et des mini-maisons. Le plan municipal de Shediac encourage la construction de développements résidentiels à plus haute densité et de logements abordables dans cet arrondissement, car il est situé près de deux artères (les autoroutes 11 et 15) et à proximité de diverses commodités (épicerie, magasins de détail, etc.). La propriété est zonée résidentielle à haute densité (R3), qui est la zone résidentielle qui permet la plus haute densité d'unités d'habitation sur un lot dans la ville de Shediac. Pour les nouveaux développements résidentiels dans cette zone, un minimum de deux unités est requis et il n'y a pas de limite au nombre total d'unités (le nombre maximum d'unités est généralement limité par le coefficient d'occupation maximale du terrain, la hauteur maximale et la capacité des services publics). La zone de haute densité exige également que les bâtiments résidentiels aient au moins deux étages, mais ne peuvent pas dépasser 15 mètres de hauteur (15 mètres correspondent à des bâtiments d'environ quatre ou cinq étages). Les bâtiments proposés s'intègrent bien dans l'environnement, en termes de hauteur, puisqu'ils sont de deux étages.*

The site plan, elevations, and floor plan drawings of the two proposed multi-unit buildings can be found in the schedules. / *Le plan de site, les élévations et les plans d'étages des deux bâtiments multifamiliaux proposés se trouvent dans les annexes.*

The proposed development aligns with the policies of the Shediac Municipal Plan and meets the zoning provisions relating to setbacks, height, parking, and public entrance set by the Town of Shediac Zoning By-law. Under general provision 26 of the Zoning-By-law, more than one building containing eight or more residential units is permitted in an R3 Zone subject to terms and conditions set out by the Commission. The Community Planning Act limits the terms and conditions imposed by the commission and the committee to be limited to protecting properties within the zone or in abutting zones, and the health, safety, and welfare of the general public. / *L'aménagement proposé est conforme aux principes du plan municipal de Shediac et respecte les dispositions de zonage relatives aux marges de recul, à la hauteur, au stationnement et à l'accès établies par le règlement de zonage de la Ville de Shediac. En vertu de la disposition générale 26 de l'arrêté de zonage, plus d'un bâtiment contenant huit unités résidentielles ou plus est autorisé dans une zone R3, sous réserve des conditions établies par la Commission. La Loi sur l'urbanisme limite les conditions imposées par la Commission et le Comité à la protection des propriétés situées dans la zone ou dans les zones adjacentes, ainsi qu'à la santé, à la sécurité et au bien-être du grand public.*

Staff consulted with the Greater Shediac Sewerage Commission, the Town of Shediac, and the local Fire Chief regarding the proposed project. No comments/objections were received regarding fire services, and sewer capacity and services. The Town of Shediac communicated that engineering drawings (site servicing, drainage, and sedimentation control plans) as well as an engineering design brief will be required for the proposed development. / *Le personnel a consulté avec la Commission des égouts Shediac et Banlieus, la ville de Shediac et le chef des pompiers de la municipalité au regard de la proposition du projet. Aucun commentaire ou objection n'a été reçu par rapport aux services d'incendie et à la capacité et aux services d'égout. La Ville de Shediac a fait savoir que des dessins techniques (plans d'aménagement du site, de drainage et de contrôle de la sédimentation) ainsi qu'un résumé de la conception technique seront exigés pour l'aménagement proposé.*

Staff recommends two conditions to be added to the proposed development; that the development is in general compliance with the provided drawings, and that engineered drawings prepared by a certified New-Brunswick engineer containing drainage, site servicing, and sedimentation control details be submitted and receive endorsement from the Town of Shediac before a building and/or development permit is issued. / *Le personnel recommande que deux conditions soient ajoutées au développement proposé ; que le développement soit en conformité générale avec les dessins fournis, et que des dessins techniques préparés par un ingénieur certifié du Nouveau-Brunswick contenant les détails du drainage, du service du site et du contrôle de la sédimentation soient soumis et reçoivent l'approbation de la Ville de Shediac avant qu'un permis de construction et/ou de d'aménagement ne soit émis.*

Public Notice / Avis public

Public Notice has been circulated to neighbouring landowners within 60m of the property on February 14, 2024. / *Un avis public a été envoyé aux propriétaires fonciers à l'intérieur de 60 mètres de la propriété le 14 février 2024.*

Legal Authority / Autorité légale

Community Planning Act / Loi sur l'urbanisme

53(3) In prescribing the purposes for which land, buildings and structures in a zone may be used, a zoning by-law may / *En prescrivant les fins auxquelles des terrains, des bâtiments et des constructions dans une zone quelconque peuvent être affectés, l'arrêté de zonage peut prévoir l'une quelconque des dispositions suivantes :*

c) prescribe particular purposes / *y désigner des fins particulières :*

(i) in respect of which the advisory committee or regional service commission, subject to subsection (5), may impose terms and conditions, and / *pour lesquelles le comité consultatif ou la commission de services régionaux peut, sous réserve du paragraphe (5), imposer des modalités et des conditions,*

ii) that may be prohibited by the advisory committee or regional service commission if compliance with terms and conditions imposed under subparagraph (i) cannot reasonably be expected. / *que peuvent interdire le comité consultatif ou la commission de services régionaux lorsqu'il apparaît raisonnable de s'attendre qu'il ne sera pas satisfait aux modalités et aux conditions imposées en vertu du sous-alinéa (i).*

53(4) Terms and conditions imposed under paragraph (4)(c) shall be limited to those considered necessary the advisory committee or commission to protect / *Les modalités et conditions imposées en application de l'alinéa (4)c doivent se limiter à celles que le comité consultatif ou la commission juge nécessaires pour protéger*

(a) properties within the zone or in abutting zones, or / *les propriétés à l'intérieur de la zone ou dans des zones attenantes, ou*

(b) the health, safety and welfare of the general public. / *la santé, la sécurité et le bien-être du public en général.*

Recommendation / Recommandation

Staff respectfully recommends that the Southeast Planning Review and Adjustment Committee impose the following conditions to the development: / *Le personnel recommande respectueusement que le Comité de révision de la planification du Sud-Est impose les conditions suivantes au développement :*

1. That the development be in general conformity with the site plan, elevations and drawings provided. / *Que l'aménagement soit en conformité générale avec le plan de localisation, les élévations et les dessins fournis.*

2. That engineered drawings prepared by a certified New-Brunswick engineer containing drainage, site servicing, and sedimentation control details be submitted and receive endorsement from the Town of Shediac before a building and/or development permit is issued. / *Que des dessins techniques préparés par un ingénieur certifié du Nouveau-Brunswick contenant les détails du drainage, du service du site et du contrôle de la sédimentation soient soumis et reçoivent l'approbation de la Ville de Shediac avant qu'un permis de construction et/ou de d'aménagement ne soit émis.*

Note: This report was written in English and translated to a bilingual document. Where a conflict exists between the two languages, the language the report was written shall prevail. / **Note:** *ce rapport a été rédigé anglais en et traduit en version bilingue. En cas de conflit entre les deux langues, la langue dans laquelle le rapport a été rédigé a préséance.*

Roy Mollins Drive (PID/NID 70234349)
Shediac
Date: 1/4/2024

**Main Office**

1234 rue Main Street
2nd Floor, Unit/unité 200
Moncton, NB E1C 1H7
Tel/tél : 506-382-5386

Beaubassin Office

815A rue Bombardier Street
Route 15, Exit/sortie 37
Shediac, NB E6P 1H9
Tel/tél : 506-533-3637

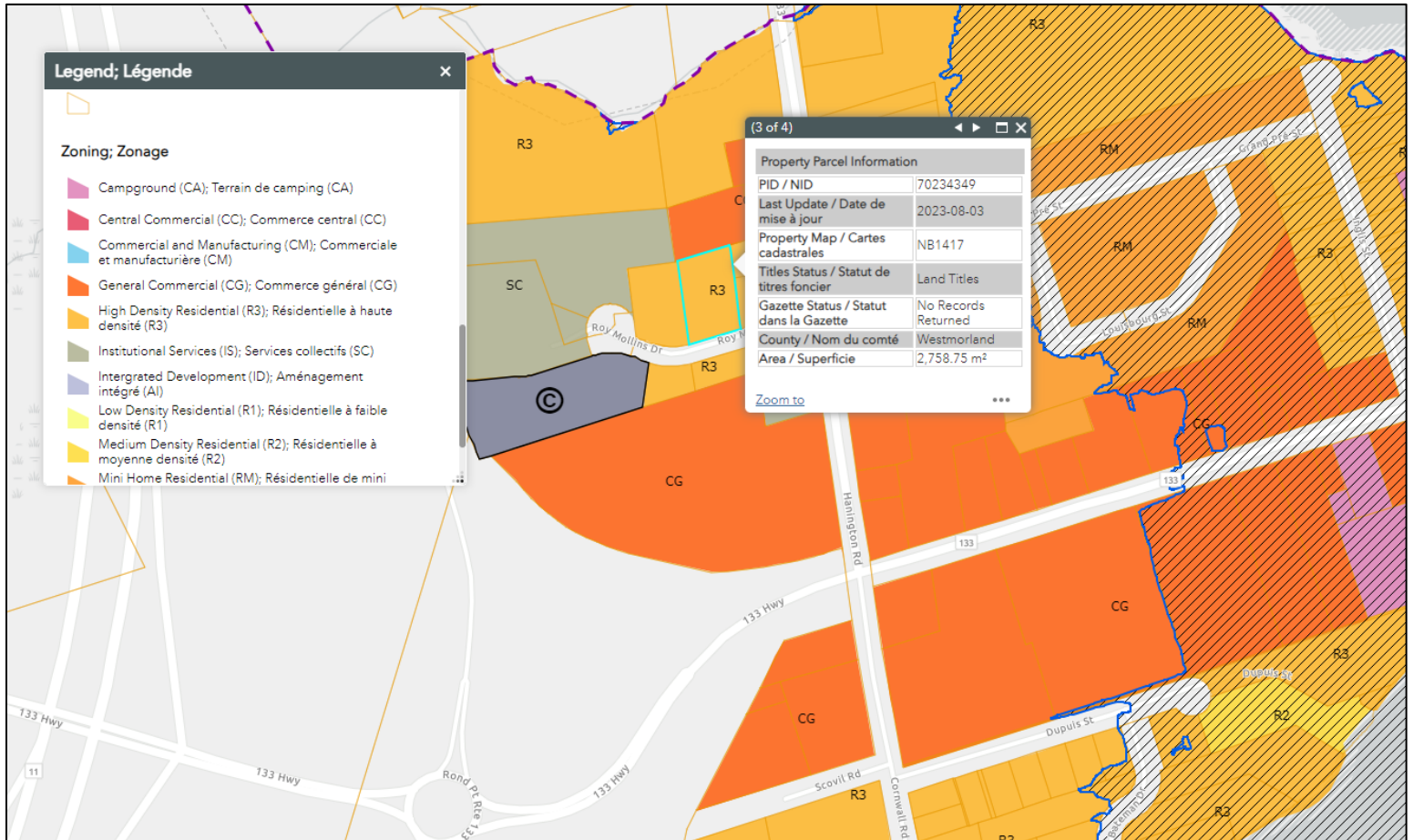
Tantramar Office

112 rue Main Street
Unit/unité C
Sackville, NB E4L 0C3
Tel/tél : 506-364-4701

Riverview Office

Operations Centre
300, rue Roberston Street
Riverview, NB E1B 0T8
Tel/tél : 506 382 3574

Zoning / Zonage



High Density Residential (R3) / Résidentielle à haute densité (R3)

Site photo / Photo du site



1) Roy Mollins Drive – view of the property from / *vue de la propriété de*



2) Roy Mollins Drive – view #1 of the property from / *vue de la propriété de*



Roy Mollins Drive – West view of the existing built environment / *Vue ouest de l'environnement bâti existant*

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Tel/tél : 506 382 3574



Rendering view of building 1 / Représentation visuel du bâtiment 1

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Tel/tél : 506-364-4701

Riverview Office

Operations Centre
300, rue Roberston Street
Riverview, NB E1B 0T8
Tel/tél : 506 382 3574



Rendering view of building 2 / Représentation visuel du bâtiment 2

Main Office
1234 rue Main Street
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Tel/tél : 506-382-5386

Beaubassin Office
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Riverview, NB E1B 0T8
Tel/tél : 506 382 3574

**PROPOSED
9 UNIT BUILDINGS**

**ROY MOLLINS DR.
SHEDIAC, NB**

GENERAL NOTES:

ALL WORK SHALL COMPLY WITH PART 9 OF THE 2015 NATIONAL BUILDING CODE OF CANADA, LOCAL BY-LAW, CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS SET BY AUTHORITIES HAVING JURISDICTION IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

THE CONTRACTOR SHALL EXAMINE THESE DRAWINGS, VERIFY ALL DIMENSIONS & DETAILS AND REPORT ANY ERRORS OR OMISSIONS TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION. DRAFTSMAN DOES NOT PROVIDE ON SITE SUPERVISION OVER THE ACTUAL CONSTRUCTION AND ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE DUE TO ANY ERRORS AND/OR OMISSIONS RESULTING FROM THE USE OF THESE PLANS FOR CONSTRUCTION.

ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION.

THE CITY OR MUNICIPAL BUILDING INSPECTION MAY REQUIRE CONFIRMATION OF STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, INTERIOR AND EXTERIOR BEARING WALLS, LINTELS, BEAMS, COLUMNS, POSTS, FOOTINGS, PRE-ENGINEERED FLOOR AND TRUSS SYSTEMS, ETC., BY A CERTIFIED STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF NEW BRUNSWICK, WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

SHEET TITLE:

SITE PLAN

DRAWN BY:

GML

SCALE:

1/32" = 1'-0"

DATE:

FEBRUARY 16, 2024

REVISION:

REV. 4 - 02/16/24

SHEET NO:

A0



BUILDING 1

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

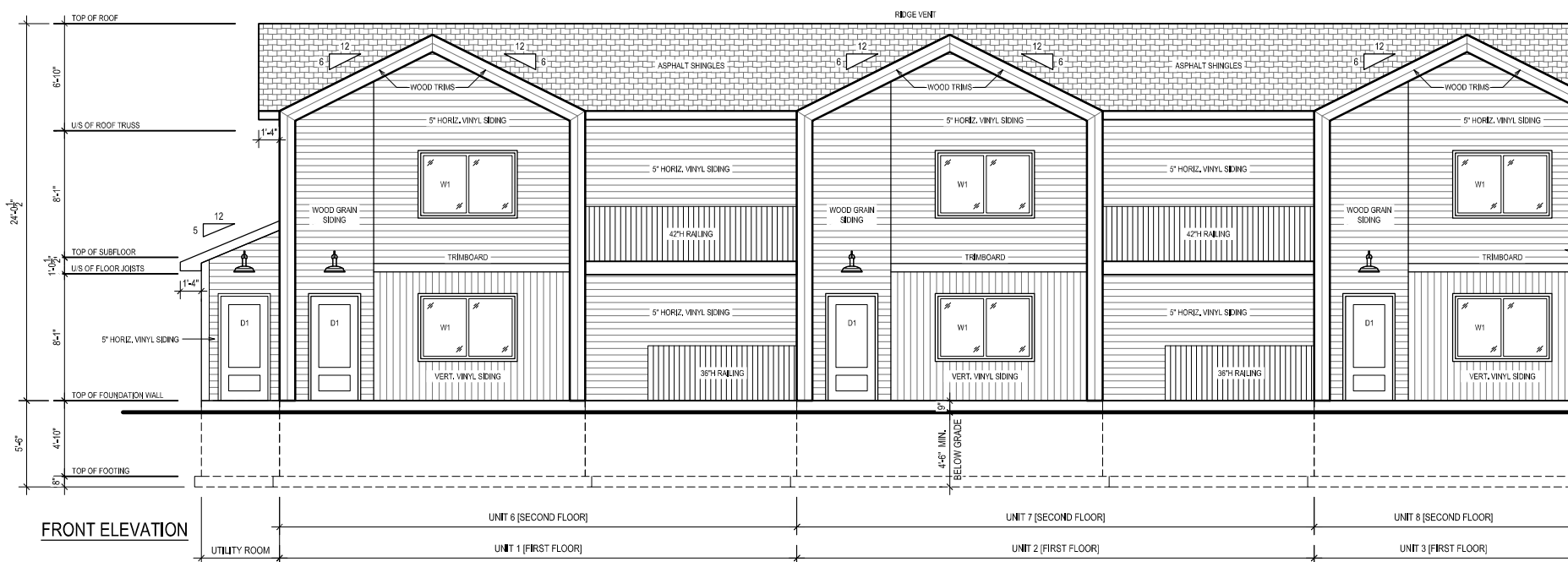
GENERAL NOTES:

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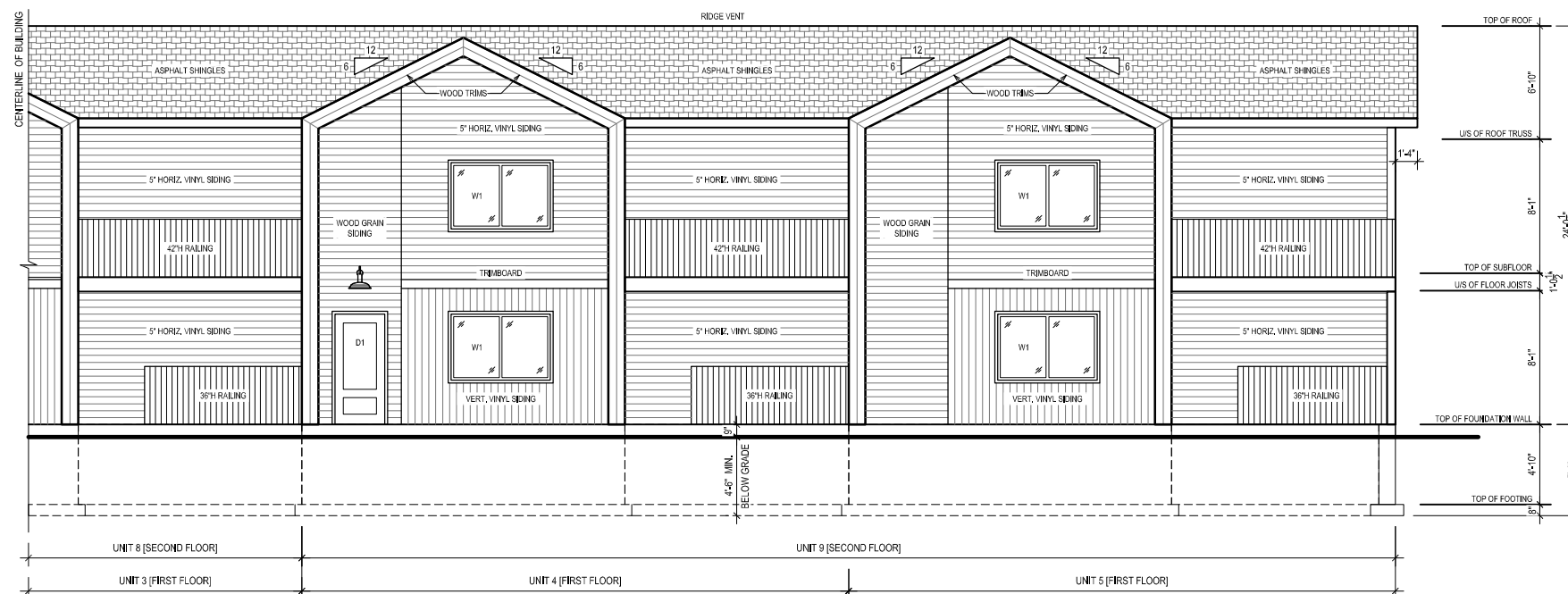
THE CONTRACTOR SHALL EXAMINE THESE DRAWINGS FOR ALL DIMENSIONS & DETAILS AND REPORT ANY ERRORS OR OMISSIONS TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION. DRAFTSMAN DOES NOT PROVIDE ON SITE SUPERVISION OVER THE ACTUAL CONSTRUCTION AND ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE DUE TO ANY ERRORS AND/OR OMISSIONS RESULTING FROM THE USE OF THESE PLANS FOR CONSTRUCTION.

ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION.

THE CITY OR MUNICIPAL BUILDING INSPECTION MAY REQUIRE CONFIRMATION OF STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, INTERIOR AND EXTERIOR BEARING WALLS, LINTELS, BEAMS, COLUMNS, POSTS, FOOTINGS, PRE-ENGINEERED FLOOR AND TRUSS SYSTEMS, ETC., BY A CERTIFIED STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF NEW BRUNSWICK, WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.



FRONT ELEVATION



SHEET TITLE:

FRONT ELEVATION

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A1

BUILDING 1

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

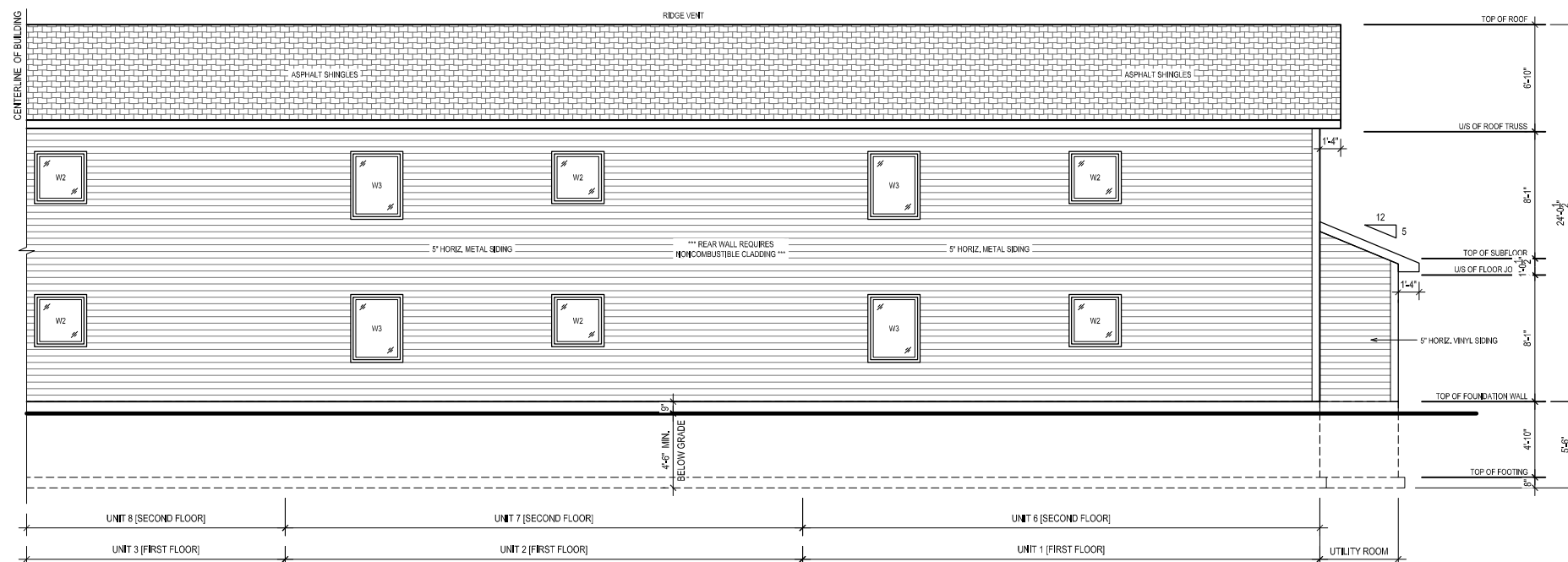
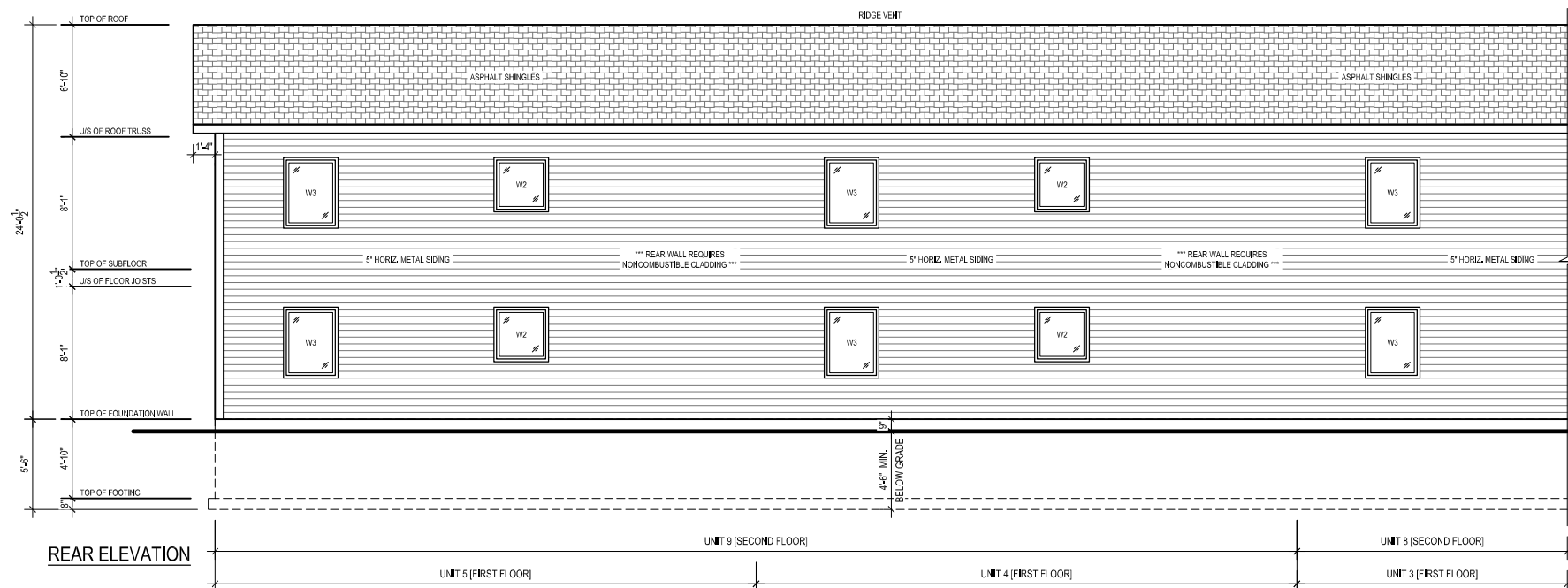
GENERAL NOTES:

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SHEET TITLE:

REAR ELEVATION

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

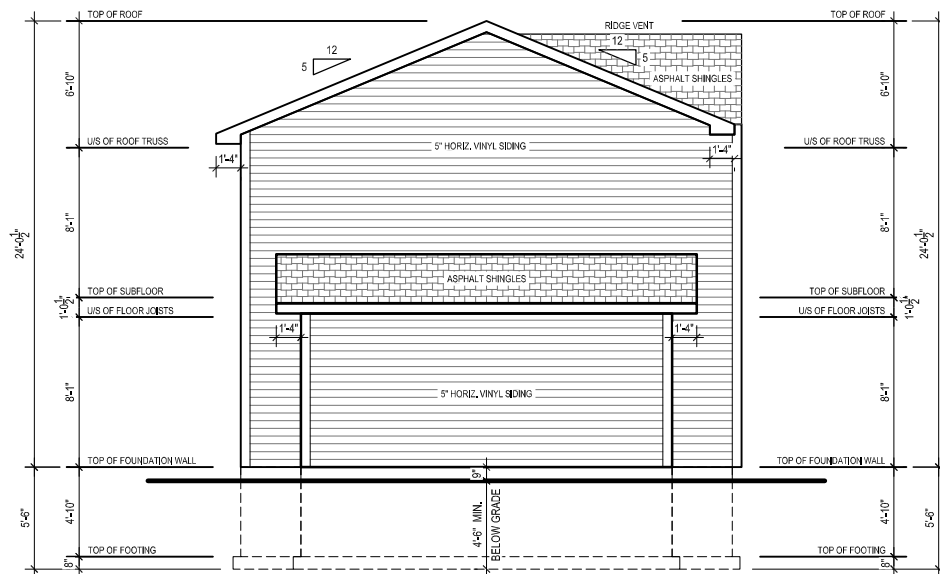
SHEET NO:

A2

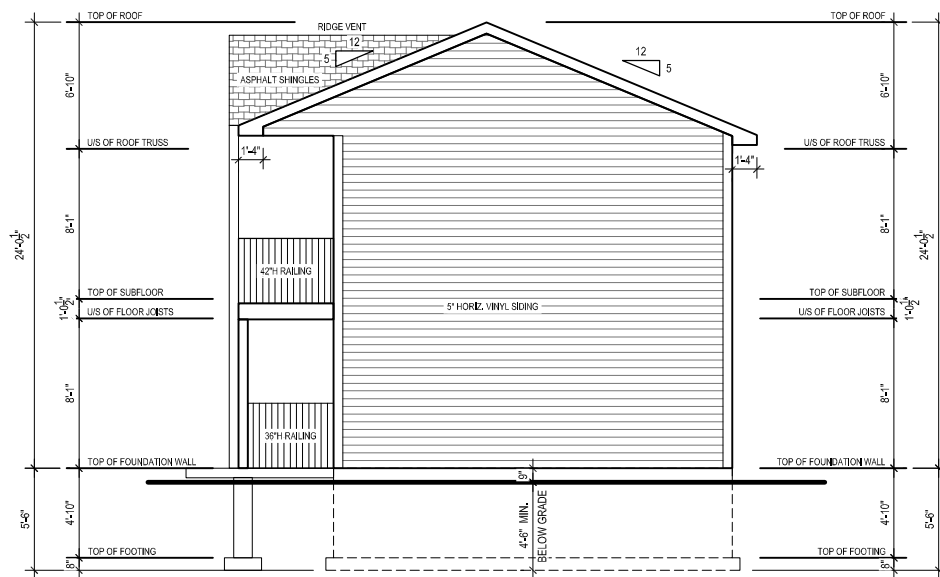
BUILDING 1

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB



LEFT ELEVATION



RIGHT ELEVATION

DOOR SCHEDULE

NO	SIZE (W X H)	QTY	TYPE (OWNER TO SPEC DOOR STYLES)
D1	36" x 80"	15	STEEL INSULATED DOOR
D2	32" x 80"	4	20 MIN. FIRE RATED DOOR
D3	32" x 80"	38	INTERIOR DOOR
D4	48" x 80"	9	INTERIOR DOUBLE DOORS
D5	34" x 80"	2	INTERIOR BARN DOOR, 34" DOOR/32" OPENING
D6	38" x 80"	4	20 MIN. FIRE RATED DOOR

NOTES:

- ALL EXTERIOR DOORS MUST BE ENERGY STAR CERTIFIED DOORS (MINIMUM ZONE 5). DOORS AND PENETRATIONS SHALL HAVE A MAX U-VALUE OF 1.0 OR A MINIMUM ENERGY RATING OF 25 (MUST MEET EITHER THE U-VALUE OR THE ENERGY RATING). ALL GLAZING TO BE DOUBLE GLAZED w/ LOW-E COATING AND ARGON GAS FILL. DOOR COLOUR AND PATTERN TO BE SELECTED BY OWNER.
- ROUGH OPENING SIZES TO BE CONFIRMED WITH DOOR MANUFACTURER.

WINDOW SCHEDULE

NO	SIZE (W X H)	QTY	TYPE (OWNER TO SPEC WINDOW STYLES)
W1	72" x 48"	10	VINYL CASEMENT WINDOW
W2	36" x 36"	10	VINYL AWNING WINDOW
W3	36" x 48"	10	VINYL CASEMENT WINDOW - EGRESS

NOTES:

- ALL WINDOWS MUST BE ENERGY STAR CERTIFIED WINDOWS (MINIMUM ZONE 5). DOORS AND PENETRATIONS SHALL HAVE A MAX U-VALUE OF 1.0 OR A MINIMUM ENERGY RATING OF 25 (MUST MEET EITHER THE U-VALUE OR THE ENERGY RATING). ALL GLAZING TO BE DOUBLE GLAZED w/ LOW-E COATING AND ARGON GAS FILL. WINDOW COLOUR AND GRILL PATTERN TO BE SELECTED BY OWNER.
- WINDOW SIZES REFER TO THE GREATEST WIDTH X GREATEST HEIGHT. SEE ELEVATIONS FOR WINDOW SHAPES, WINDOW SIZES ARE APPROX. AND SHALL BE ADJUSTED TO SUIT MANUFACTURER'S DIMENSIONS, ROUGH OPENING SIZES TO BE CONFIRMED WITH WINDOW MANUFACTURER.
- ALL WINDOWS TO BE IN COMPLIANCE WITH EGRESS REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA (2015).
- ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS.

GENERAL NOTES:

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SHEET TITLE:

ELEVATIONS AND
DOOR/WINDOW SCHEDULE

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A3

BUILDING 1

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

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SHEET TITLE:

PARTIAL FIRST FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

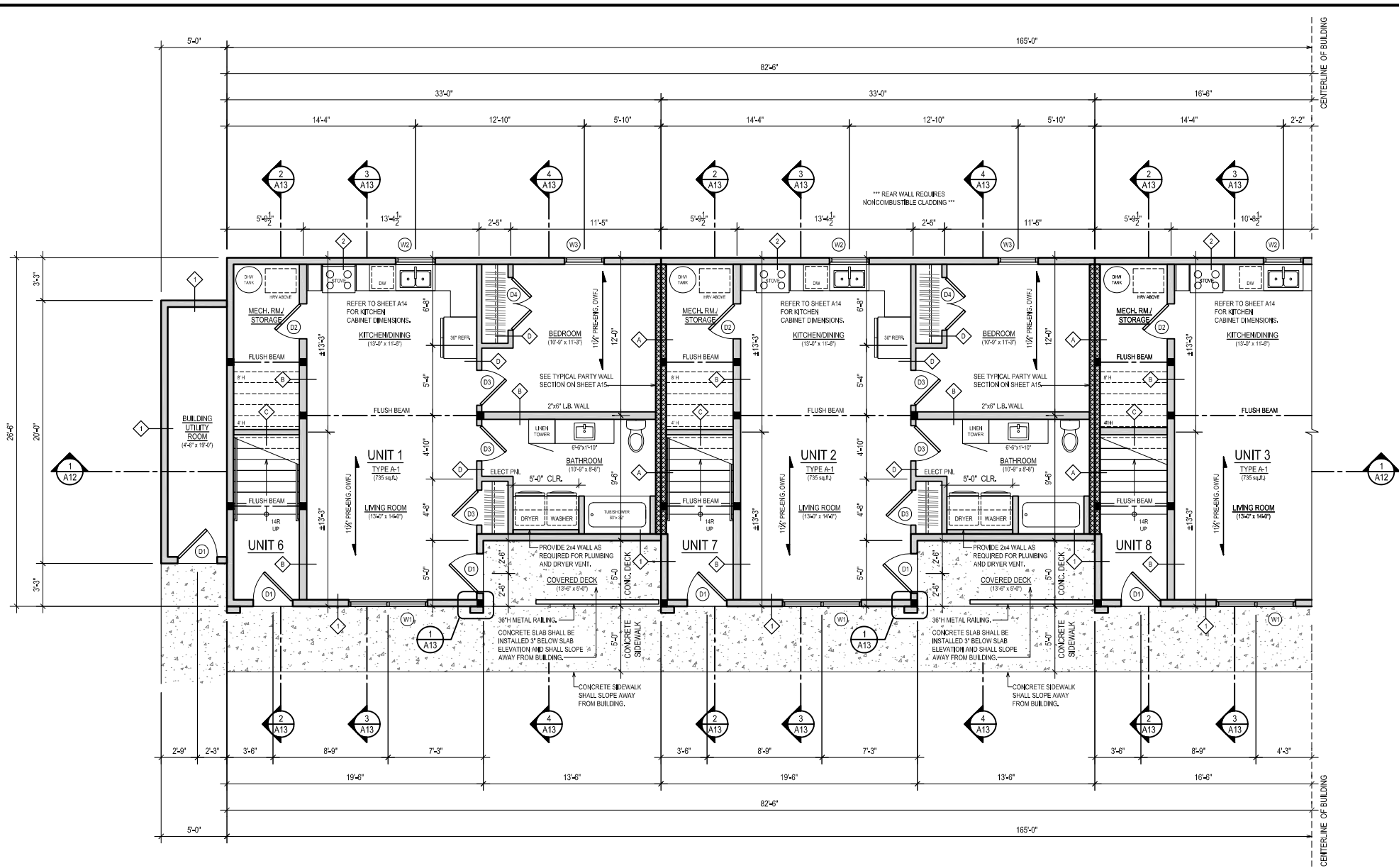
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A4



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:	
<ul style="list-style-type: none"> ◊ EXTERIOR WALL CONSTRUCTION. SEE BELOW. ◊ INTERIOR WALL CONSTRUCTION. SEE BELOW. ▬ 2"x4" WALL CONSTRUCTION. SEE BELOW. ▬ 2"x6" WALL CONSTRUCTION. SEE BELOW. Ⓢ DOOR NUMBER. SEE SHEET A3 FOR DOOR SCHEDULE. Ⓢ WINDOW NUMBER. SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE AS CLEAR DIMENSION.</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURER'S DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p>	<p>ATTIC HATCH LOCATION TO BE CONFIRMED ON SITE WITH OWNER. ATTIC HATCH TO HAVE STEEL INSULATED DOOR OR MAGNETIC WEATHERSTRIP AND SHALL HAVE AN TOTAL R-VALUE OF R-60.</p> <p>ALL INTERIOR FINISHES AND MILLWORK FINISHES SHALL BE SELECTED BY OWNER.</p> <p>ELECTRICAL AND MECHANICAL PLANS BY OTHERS AND SHALL COMPLY TO THEIR RESPECTIVE NATIONAL CODERS.</p>	<p>TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - VINYL OR WOOD GRAIN SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R-22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - NON-COMBUSTIBLE METAL SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R-22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p>	<p>PARTY WALL CONSTRUCTION (60 MIN. FIRE RATING - W13a - TABLE 9.10.3.1-A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" WOODS STUDS @ 16" o.c. - 3/4" SOUND INSULATION. - 1" AIR SPACE. - 3/4" SOUND INSULATION. - 2"x4" WOODS STUDS @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD. - REFER TO DETAILS ON SHEET A15.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W1 - TABLE 9.10.3.1-A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 3/4" SOUND INSULATION. - INSTALLED IN WALLS BETWEEN UNITS ONLY.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - SP5510X (2-2015 NBC)) - (2) LAYERS 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 1/2" TYPE 'X' G.C.B. @ 40 min. (TABLE D.2.3.4-A) - 2"x4" @ 16" o.c. @ 20 MIN. (TABLE D.2.3.4-A)</p>

BUILDING 1

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

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SHEET TITLE:

PARTIAL FIRST FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

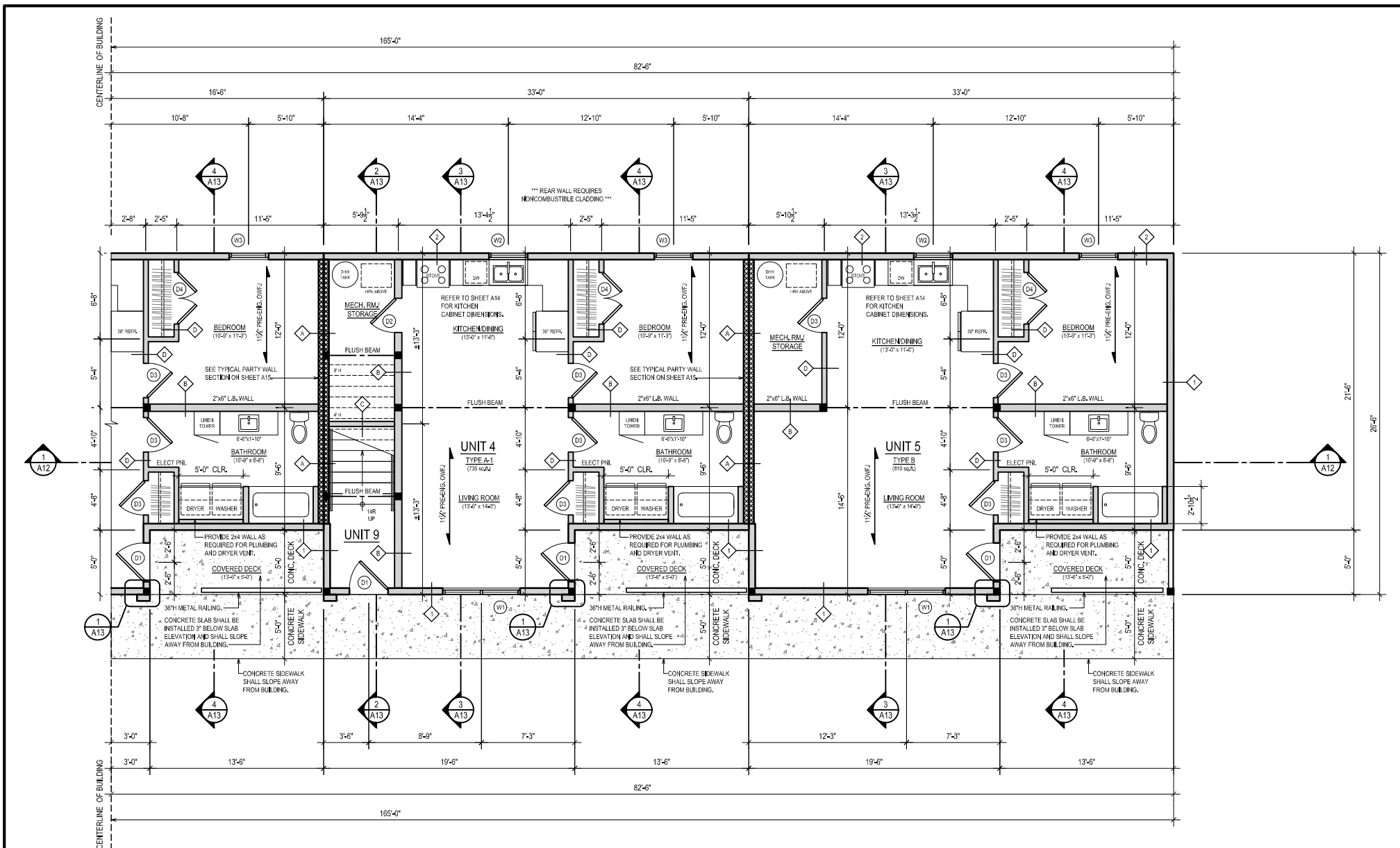
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A5



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	ATTIC HATCH LOCATION TO BE CONFIRMED ON SITE WITH OWNER, ATTIC HATCH TO HAVE STEEL INSULATED DOOR SW MAGNETIC WEATHERSTRIP AND SHALL HAVE AN TOTAL R-VALUE OF R-60.	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:
<ul style="list-style-type: none"> ◊ EXTERIOR WALL CONSTRUCTION, SEE BELOW. ◊ INTERIOR WALL CONSTRUCTION, SEE BELOW. ▬ 2"x4" WALL CONSTRUCTION, SEE BELOW. ▬ 2"x6" WALL CONSTRUCTION, SEE BELOW. Ⓚ DOOR NUMBER, SEE SHEET A3 FOR DOOR SCHEDULE. Ⓜ WINDOW NUMBER, SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE AS CLEAR DIMENSION.</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURERS DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p>	<p>ALL INTERIOR FINISHES AND MILLWORK FINISHES SHALL BE SELECTED BY OWNER.</p> <p>ELECTRICAL AND MECHANICAL PLANS BY OTHERS AND SHALL COMPLY TO THEIR RESPECTIVE NATIONAL CODES.</p>	<p>TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1.A) - VINYL OR WOOD GRAIN SIDING, REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1.A) - NONCOMBUSTIBLE METAL SIDING, REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p>	<p>PARTY WALL CONSTRUCTION (60 MIN. FIRE RATING - W13 - TABLE 9.10.3.1.A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" WOOD STUDS @ 16" o.c. - 3/8" SOUND INSULATION. - 1" AIR SPACE. - 3/8" SOUND INSULATION. - 2"x4" WOOD STUDS @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD. - REFER TO DETAILS ON SHEET A15.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W1 - TABLE 9.10.3.1.A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 3/8" SOUND INSULATION, (INSTALLED IN WALLS BETWEEN UNITS ONLY). - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W25EN - TABLE 9.10.3.1.B) - 2 LAYERS 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 1/2" TYPE 'X' G.B. = 40 min. (TABLE D.2.3.4.A) - 2"x4" @ 16" o.c. = 20 MIN. (TABLE D.2.3.4.E)</p> <p>STANDARD WALL CONSTRUCTION - 1/2" GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 1/2" GYPSUM BOARD.</p>

BUILDING 1

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

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THE CITY OR MUNICIPAL BUILDING INSPECTION MAY REQUIRE CONFIRMATION OF STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, INTERIOR AND EXTERIOR BEARING WALLS, LINTELS, BEAMS, COLUMNS, POSTS, FOOTINGS, PRE-ENGINEERED FLOOR AND TRUSS SYSTEMS, ETC., BY A CERTIFIED STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF NEW BRUNSWICK, WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

SHEET TITLE:

PARTIAL SECOND FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

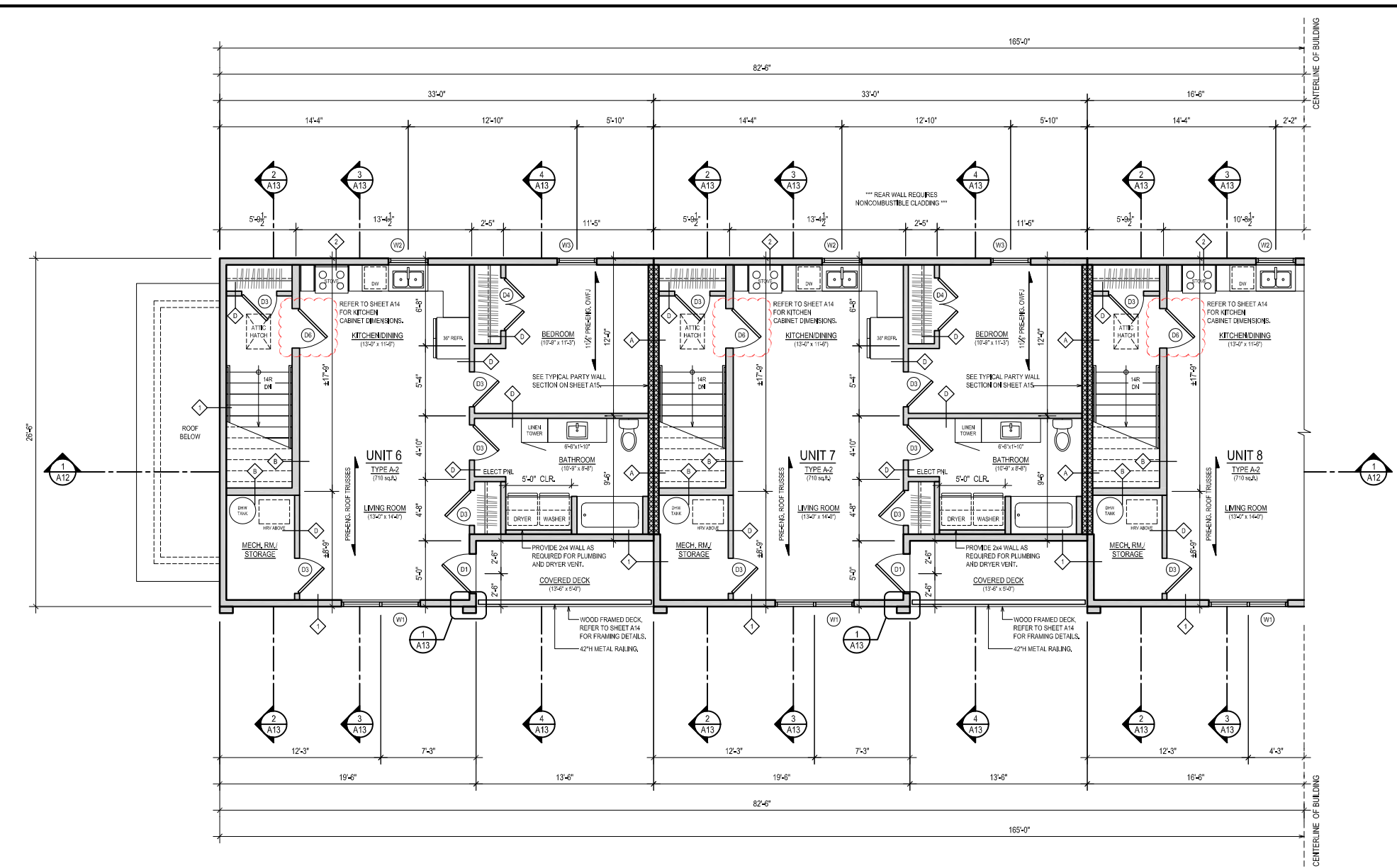
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO.:

A6



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:
<ul style="list-style-type: none"> EXTERIOR WALL CONSTRUCTION. SEE BELOW. INTERIOR WALL CONSTRUCTION. SEE BELOW. 2x4" WALL CONSTRUCTION. SEE BELOW. 2x6" WALL CONSTRUCTION. SEE BELOW. DOOR NUMBER. SEE SHEET A3 FOR DOOR SCHEDULE. WINDOW NUMBER. SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE AS CLEAR DIMENSION.</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURER'S DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p>	<p>ATTIC HATCH LOCATION TO BE CONFIRMED ON SITE WITH OWNER. ATTIC HATCH TO HAVE STEEL INSULATED DOOR OR MAGNETIC WEATHERSTRIP AND SHALL HAVE AN TOTAL R-VALUE OF R-60.</p> <p>ALL INTERIOR FINISHES AND MILLWORK FINISHES SHALL BE SELECTED BY OWNER.</p> <p>ELECTRICAL AND MECHANICAL PLANS BY OTHERS AND SHALL COMPLY TO THEIR RESPECTIVE NATIONAL CODERS.</p>	<p>TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - VINYL OR WOOD GRAIN SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - NON-COMBUSTIBLE METAL SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - FW1 - TABLE 9.10.3.1-A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2x6" STUD WALL @ 16" o.c. - 3/8" SOUND INSULATION. - 1" AIR SPACE. - 3/8" SOUND INSULATION. - 2x6" WOODS STUDS @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD. - REFER TO DETAILS ON SHEET A15.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - FW2 - TABLE 9.10.3.1-A) - 2(1/2) LAYERS 1/2" TYPE 'X' GYPSUM BOARD. - 2x4" STUD WALL @ 16" o.c. - 1/2" TYPE 'X' G.C.B. = 40 min. (TABLE D.2.3.4-A) - 2x4" @ 16" o.c. = 20 MIN. (TABLE D.2.3.4-A)</p> <p>STANDARD WALL CONSTRUCTION - 1/2" GYPSUM BOARD. - 2x4" STUD WALL @ 16" o.c. - 1/2" GYPSUM BOARD.</p>

BUILDING 1

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

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THE CONTRACTOR SHALL EXAMINE THESE DRAWINGS, VERIFY ALL DIMENSIONS & DETAILS AND REPORT ANY ERRORS OR OMISSIONS TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION. DRAFTSMAN DOES NOT PROVIDE ON SITE SUPERVISION OVER THE ACTUAL CONSTRUCTION AND ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE DUE TO ANY ERRORS AND/OR OMISSIONS RESULTING FROM THE USE OF THESE PLANS FOR CONSTRUCTION.

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THE CITY OR MUNICIPAL BUILDING INSPECTION MAY REQUIRE CONFIRMATION OF STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, INTERIOR AND EXTERIOR BEARING WALLS, LINTELS, BEAMS, COLUMNS, POSTS, FOOTINGS, PRE-ENGINEERED FLOOR AND TRUSS SYSTEMS, ETC., BY A CERTIFIED STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF NEW BRUNSWICK, WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

SHEET TITLE:

PARTIAL SECOND FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

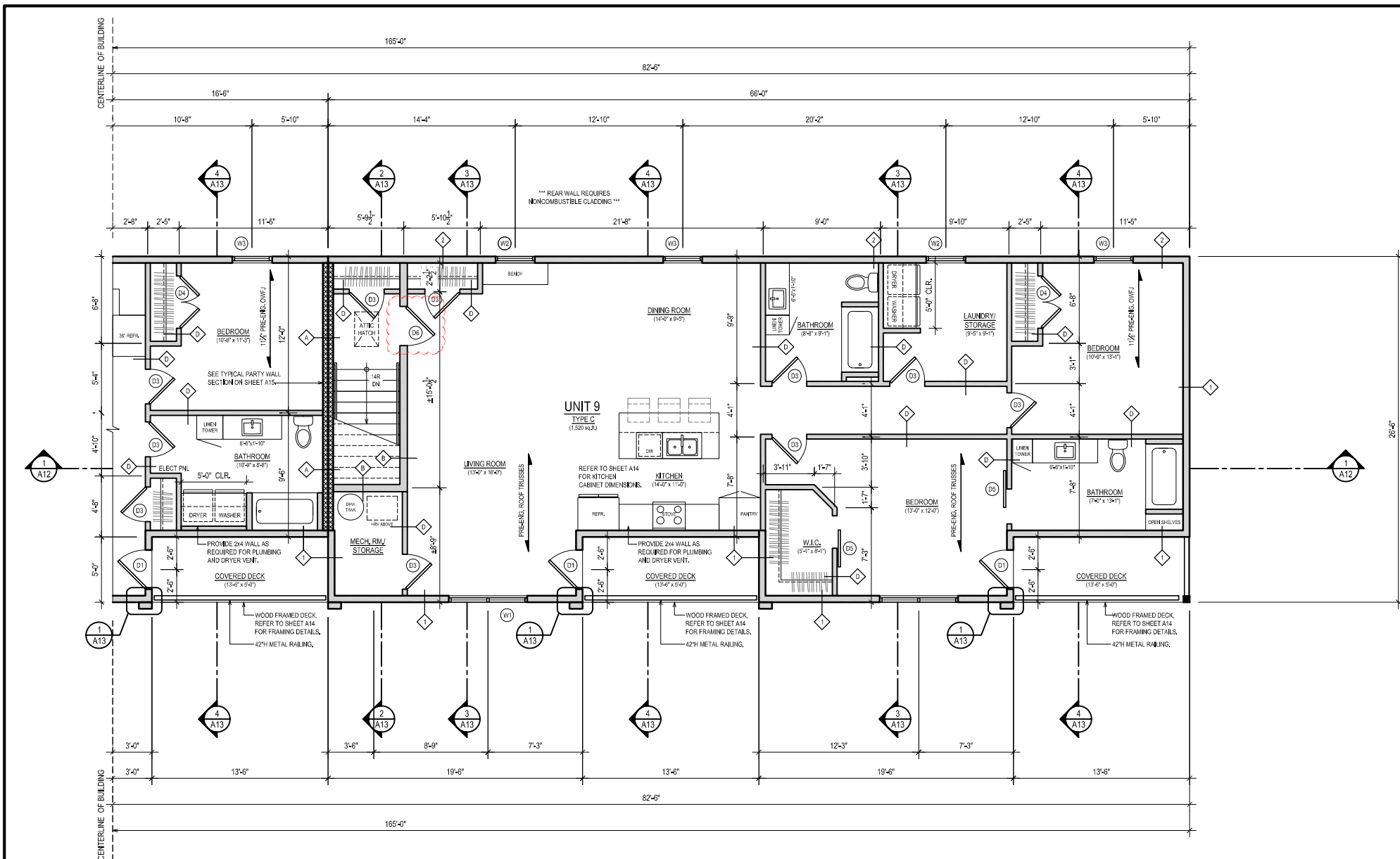
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A7



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:
<ul style="list-style-type: none"> ◊ EXTERIOR WALL CONSTRUCTION, SEE BELOW. ◊ INTERIOR WALL CONSTRUCTION, SEE BELOW. ▬ 2x4" WALL CONSTRUCTION, SEE BELOW. ▬ 2x6" WALL CONSTRUCTION, SEE BELOW. Ⓚ DOOR NUMBER, SEE SHEET A3 FOR DOOR SCHEDULE. Ⓜ WINDOW NUMBER, SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE AS CLEAR DIMENSION.</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURER'S DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p>	<p>ATTIC HATCH LOCATION TO BE CONFIRMED ON SITE WITH OWNER. ATTIC HATCH TO HAVE STEEL INSULATED DOOR SW MAGNETIC WEATHERSTRIP AND SHALL HAVE AN TOTAL R-VALUE OF R-60.</p> <p>ALL INTERIOR FINISHES AND MILLWORK FINISHES SHALL BE SELECTED BY OWNER.</p> <p>ELECTRICAL AND MECHANICAL PLANS BY OTHERS AND AND SHALL COMPLY TO THEIR RESPECTIVE NATIONAL CODES.</p>	<p>TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - VINYL OR WOOD GRAIN SIDING, REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION - 6 MIL POLY VAPOR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - NONCOMBUSTIBLE METAL SIDING, REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION - 6 MIL POLY VAPOR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>PARTY WALL CONSTRUCTION (60 MIN. FIRE RATING - W13 - TABLE 9.10.3.1-A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2x4" WOODS STUDS @ 16" o.c. - 3/8" SOUND INSULATION. - 1" AIR SPACE. - 3/8" SOUND INSULATION. - 2x4" WOODS STUDS @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD. - REFER TO DETAILS ON SHEET A15.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W1 - TABLE 9.10.3.1-A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2x4" STUD WALL @ 16" o.c. - 3/8" SOUND INSULATION. - 1" AIR SPACE. - 3/8" SOUND INSULATION. - 2x4" STUD WALL @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W15 - TABLE 9.10.3.1-A) - 2 LAYERS 1/2" TYPE 'X' GYPSUM BOARD. - 2x4" STUD WALL @ 16" o.c. - 1/2" TYPE 'X' G.B. = 40 min. (TABLE D.2.3.4-A) - 2x4" @ 16" o.c. = 20 MIN. (TABLE D.2.3.4-A)</p> <p>STANDARD WALL CONSTRUCTION - 1/2" GYPSUM BOARD. - 2x4" STUD WALL @ 16" o.c. - 1/2" GYPSUM BOARD.</p>

BUILDING 2

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

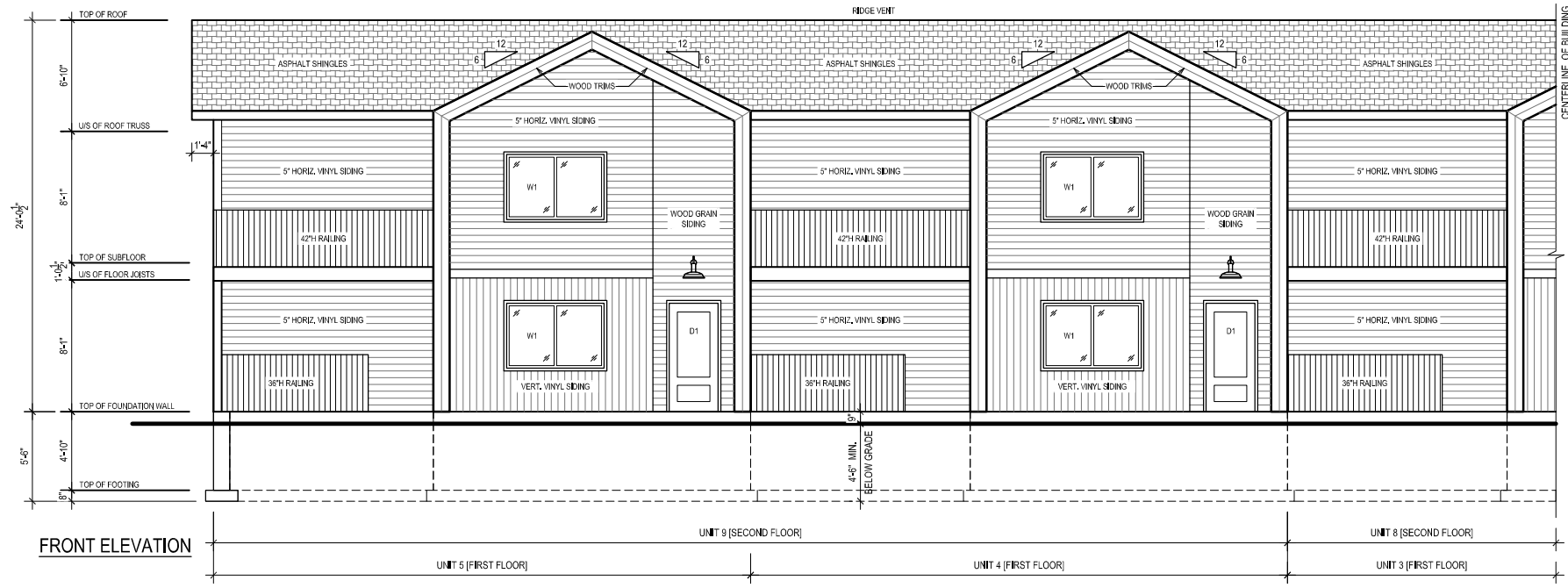
GENERAL NOTES:

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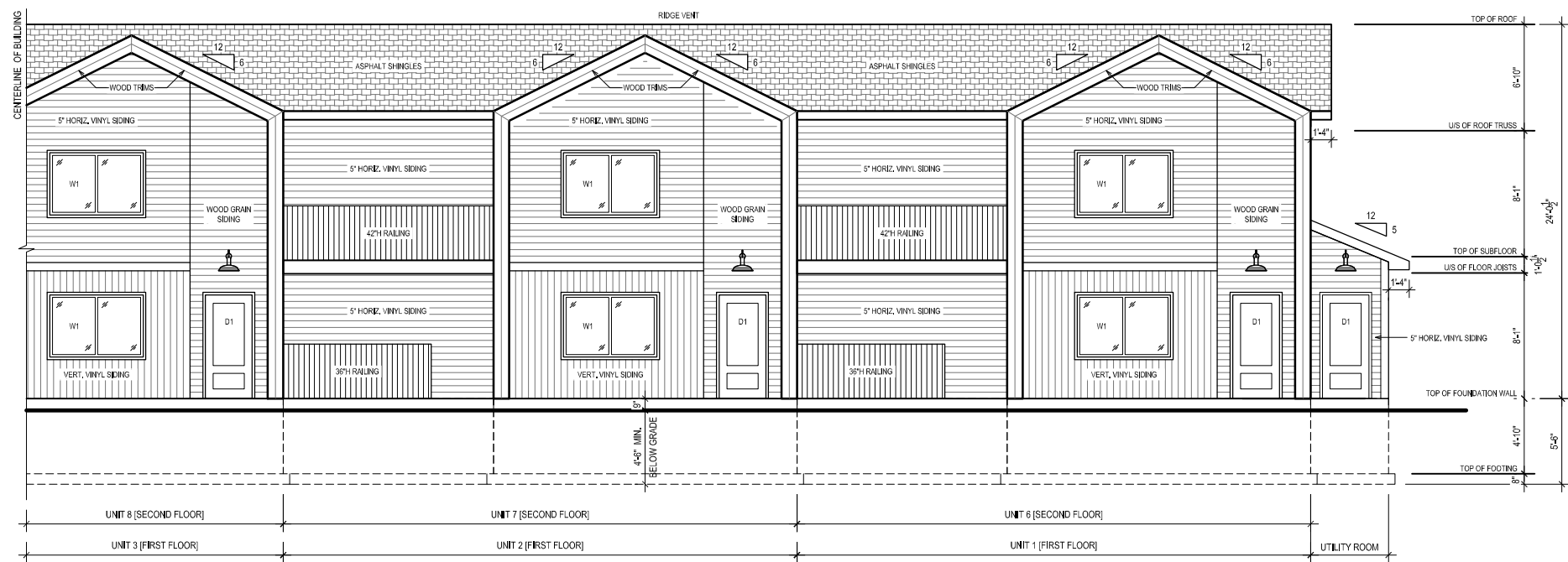
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FRONT ELEVATION



SHEET TITLE:	FRONT ELEVATION
DRAWN BY:	GML
SCALE:	1/8" = 1'-0"
DATE:	JANUARY 16, 2024
REVISION:	REV. 3 - 01/16/24
SHEET NO.:	A1

BUILDING 2

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

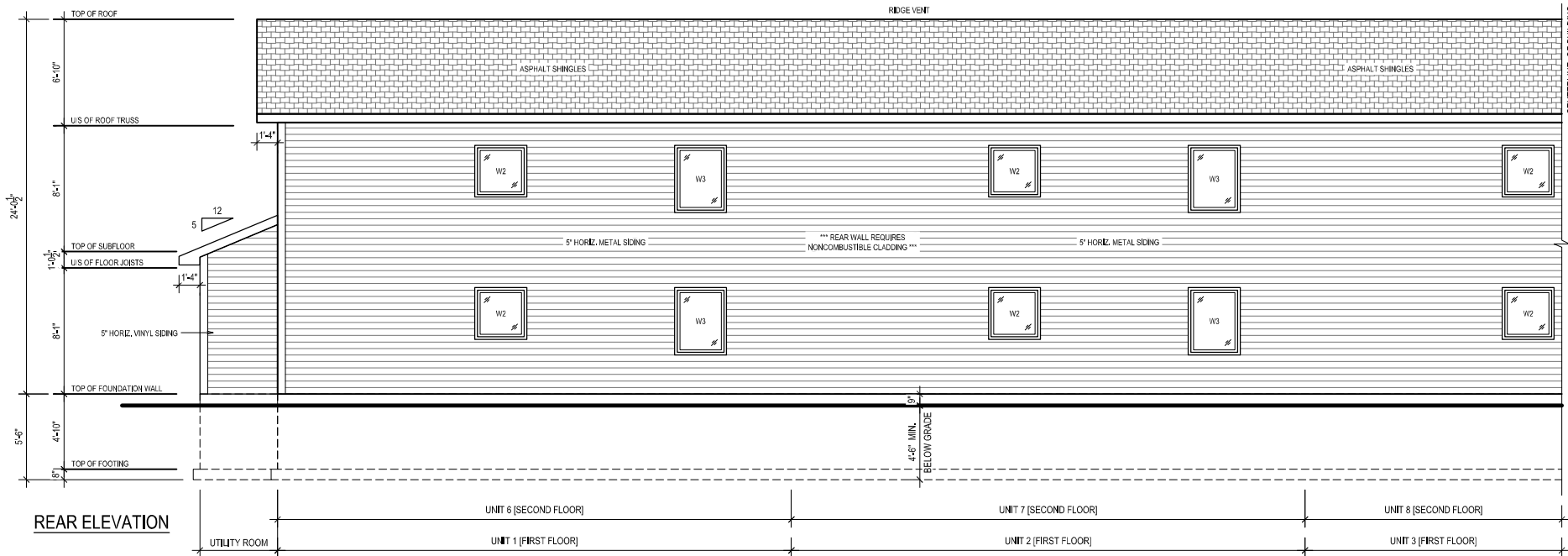
GENERAL NOTES:

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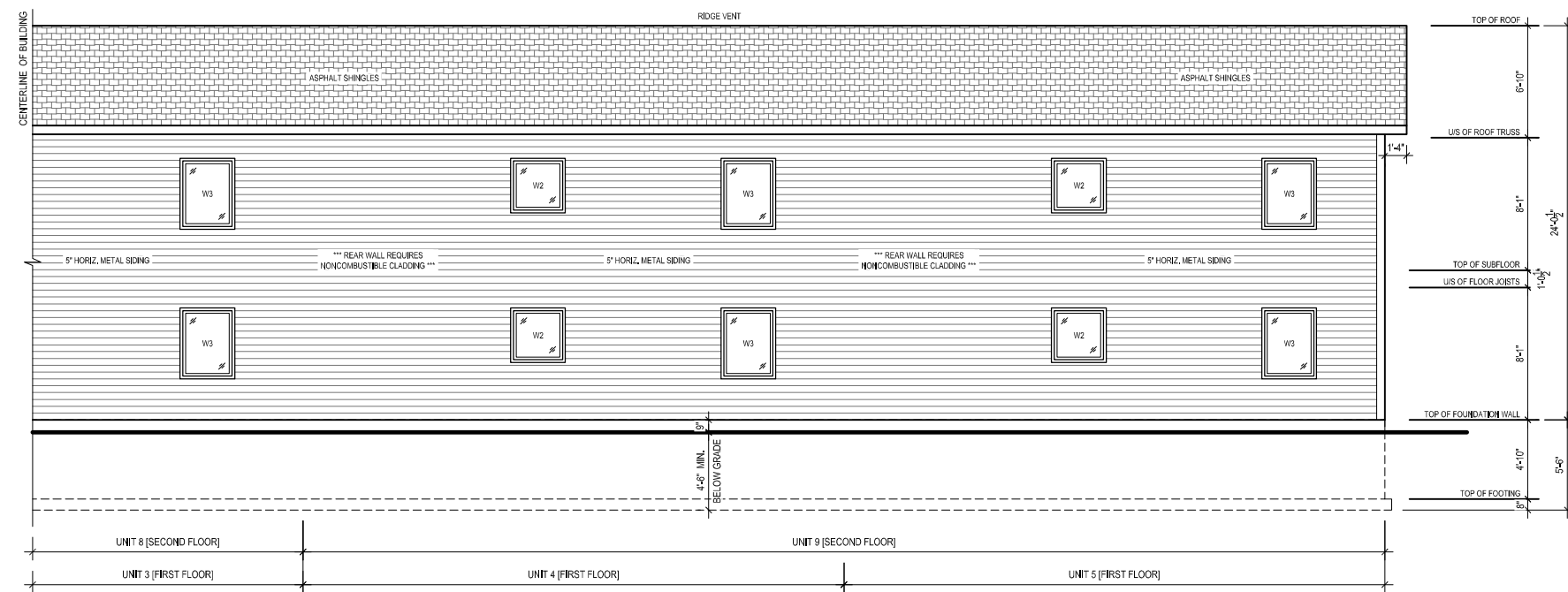
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REAR ELEVATION



SHEET TITLE:

REAR ELEVATION

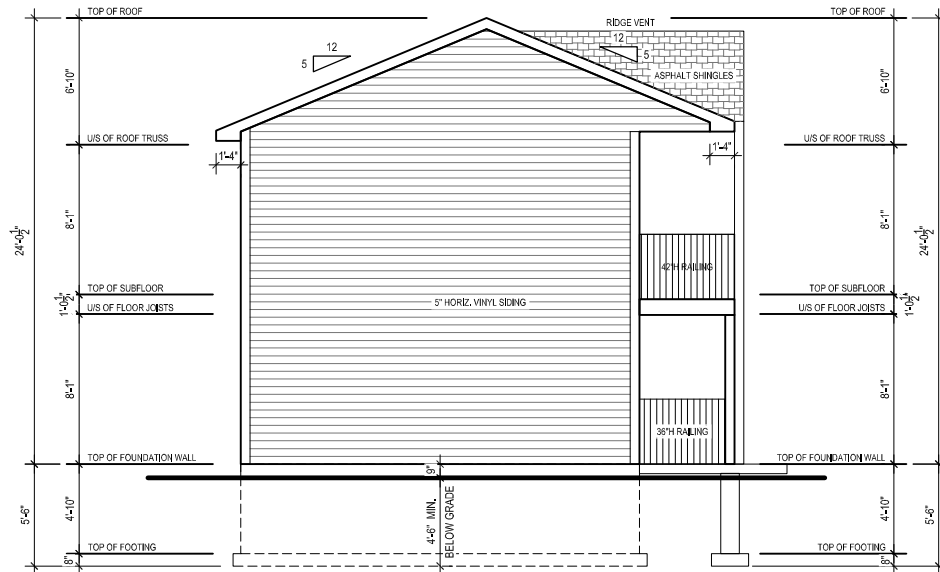
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SCALE: 1/8" = 1'-0"

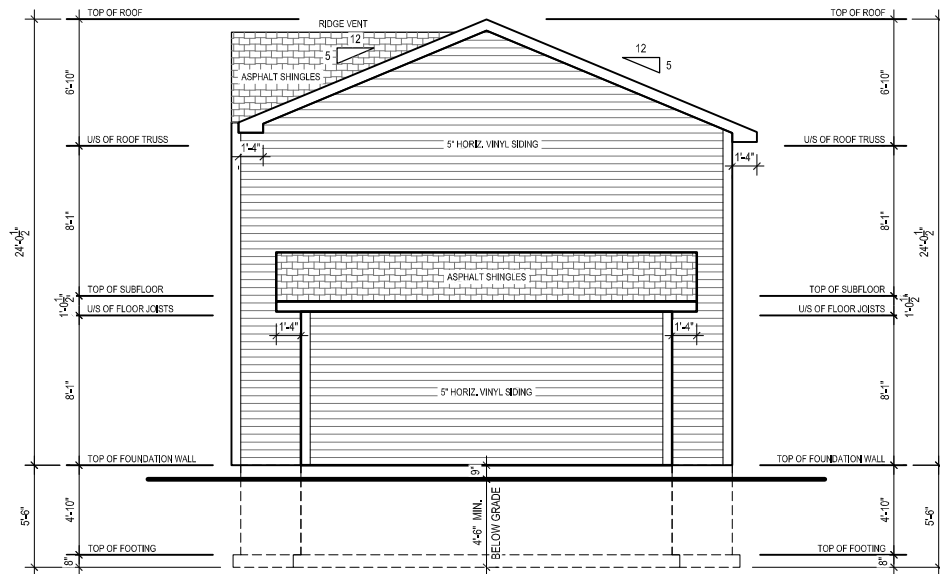
DATE: JANUARY 16, 2024

REVISION: REV. 3 - 01/16/24

SHEET NO: A2



LEFT ELEVATION



RIGHT ELEVATION

DOOR SCHEDULE			
NO	SIZE (W X H)	QTY	TYPE (OWNER TO SPEC DOOR STYLES)
D1	36" x 80"	15	STEEL INSULATED DOOR
D2	32" x 80"	4	20 MIN. FIRE RATED DOOR
D3	32" x 80"	38	INTERIOR DOOR
D4	48" x 80"	9	INTERIOR DOUBLE DOORS
D5	34" x 80"	2	INTERIOR BARN DOOR, 34" DOOR/32" OPENING
D6	38" x 80"	4	20 MIN. FIRE RATED DOOR

NOTES:

- ALL EXTERIOR DOORS MUST BE ENERGY STAR CERTIFIED DOORS (MINIMUM ZONE 5). DOORS AND PENETRATIONS SHALL HAVE A MAX U-VALUE OF 1.0 OR A MINIMUM ENERGY RATING OF 25 (MUST MEET EITHER THE U-VALUE OR THE ENERGY RATING). ALL GLAZING TO BE DOUBLE GLAZED w/ LOW-E COATING AND ARGON GAS FILL. WINDOW COLOUR AND GRILL PATTERN TO BE SELECTED BY OWNER.
- ROUGH OPENING SIZES TO BE CONFIRMED WITH DOOR MANUFACTURER.

WINDOW SCHEDULE			
NO	SIZE (W X H)	QTY	TYPE (OWNER TO SPEC WINDOW STYLES)
W1	72" x 48"	10	VINYL CASEMENT WINDOW
W2	36" x 36"	10	VINYL AWNING WINDOW
W3	36" x 48"	10	VINYL CASEMENT WINDOW - EGRESS

NOTES:

- ALL WINDOWS MUST BE ENERGY STAR CERTIFIED WINDOWS. MINIMUM ZONE 5. DOORS AND PENETRATIONS SHALL HAVE A MAX U-VALUE OF 1.0 OR A MINIMUM ENERGY RATING OF 25 (MUST MEET EITHER THE U-VALUE OR THE ENERGY RATING). ALL GLAZING TO BE DOUBLE GLAZED w/ LOW-E COATING AND ARGON GAS FILL. WINDOW COLOUR AND GRILL PATTERN TO BE SELECTED BY OWNER.
- WINDOW SIZES REFER TO THE GREATEST WIDTH X GREATEST HEIGHT. SEE ELEVATIONS FOR WINDOW SHAPES, WINDOW SIZES ARE APPROX. AND SHALL BE ADJUSTED TO SUIT MANUFACTURER'S DIMENSIONS, ROUGH OPENING SIZES TO BE CONFIRMED WITH WINDOW MANUFACTURER.
- ALL WINDOWS TO BE IN COMPLIANCE WITH EGRESS REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA (2015).
- ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS.

BUILDING 2

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

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SHEET TITLE:

PARTIAL FIRST
FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A3

BUILDING 2

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

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SHEET TITLE:

PARTIAL FIRST FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

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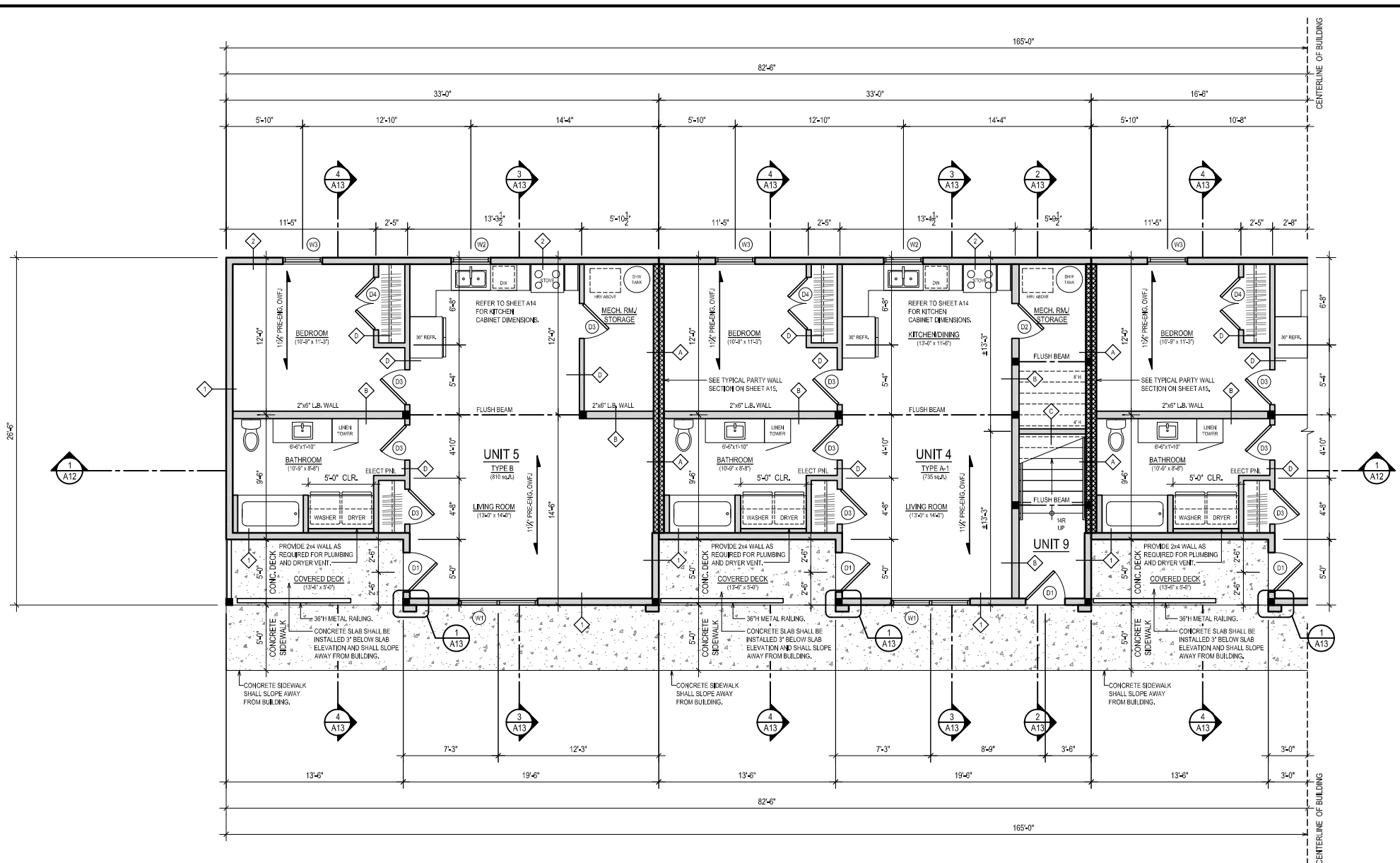
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A4



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:
<ul style="list-style-type: none"> ◊ EXTERIOR WALL CONSTRUCTION. SEE BELOW. ◊ INTERIOR WALL CONSTRUCTION. SEE BELOW. ▬ 2"x4" WALL CONSTRUCTION. SEE BELOW. ▬ 2"x6" WALL CONSTRUCTION. SEE BELOW. ⓐ DOOR NUMBER. SEE SHEET A3 FOR DOOR SCHEDULE. Ⓦ WINDOW NUMBER. SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE AS CLEAR DIMENSION.</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURER'S DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p>	<p>ATTIC HATCH LOCATION TO BE CONFIRMED ON SITE WITH OWNER. ATTIC HATCH TO HAVE STEEL INSULATED DOOR OR MAGNETIC WEATHERSTRIP AND SHALL HAVE AN TOTAL R-VALUE OF R-60.</p> <p>ALL INTERIOR FINISHES AND MILLWORK FINISHES SHALL BE SELECTED BY OWNER.</p> <p>ELECTRICAL AND MECHANICAL PLANS BY OTHERS AND SHALL COMPLY TO THEIR RESPECTIVE NATIONAL CODERS.</p>	<p>TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - VINYL OR WOOD GRAIN SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A) - NON-COMBUSTIBLE METAL SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD.</p> <p>PARTY WALL CONSTRUCTION (60 MIN. FIRE RATING - W133 - TABLE 9.10.3.1-A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" WOODS STUDS @ 16" o.c. - 3/8" SOUND INSULATION. - 1" AIR SPACE. - 3/8" SOUND INSULATION. - 2"x4" WOODS STUDS @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD. - REFER TO DETAILS ON SHEET A15.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W1 - TABLE 9.10.3.1-A) - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x6" STUD WALL @ 16" o.c. - 3/8" SOUND INSULATION. - 1/2" TYPE 'X' GYPSUM BOARD. - INSTALLED IN WALLS BETWEEN UNITS ONLY.</p> <p>FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - SP550X - TABLE 9.10.3.1-A) - 2 LAYERS 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 1/2" TYPE 'X' G.C.B. = 40 MIN. (TABLE D.2.3.4-A) - 2"x4" @ 16" o.c. = 20 MIN. (TABLE D.2.3.4-A)</p> <p>STANDARD WALL CONSTRUCTION - 1/2" GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 1/2" GYPSUM BOARD.</p>

BUILDING 2

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

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SHEET TITLE:

PARTIAL FIRST FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

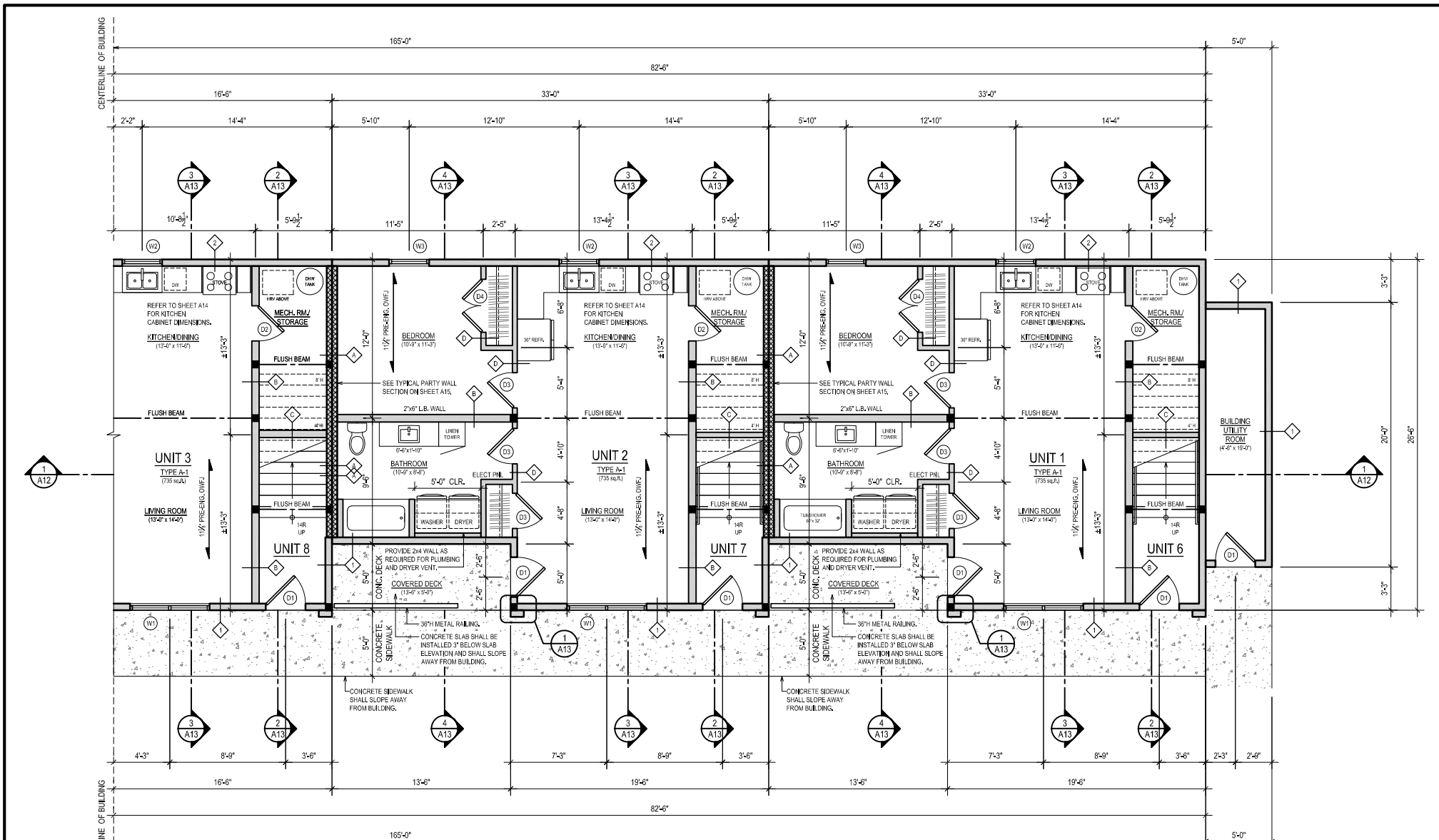
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A5



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:
<ul style="list-style-type: none"> ◊ EXTERIOR WALL CONSTRUCTION. SEE BELOW. ◊ INTERIOR WALL CONSTRUCTION. SEE BELOW. ▬ 2"x4" WALL CONSTRUCTION. SEE BELOW. ▬ 2"x6" WALL CONSTRUCTION. SEE BELOW. ⓐ DOOR NUMBER. SEE SHEET A3 FOR DOOR SCHEDULE. Ⓦ WINDOW NUMBER. SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE AS CLEAR DIMENSION.</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURER'S DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p>	<p>◊ TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW1 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> - VINYL OR WOOD GRAIN SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD. <p>◊ REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> - NON-COMBUSTIBLE METAL SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. - WEATHER BARRIER (HOUSE WRAP). - 1/2" EXTERIOR GRADE OSB SHEATHING. - 2"x6" STUD WALL @ 16" o.c. - R22 BATT INSULATION. - 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. - 1/2" TYPE 'X' GYPSUM BOARD. 	<p>◊ PARTY WALL CONSTRUCTION (60 MIN. FIRE RATING - W13 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" WOODS STUDS @ 16" o.c. - 3/8" SOUND INSULATION. - 1" AIR SPACE. - 3/8" SOUND INSULATION. - 2"x4" WOODS STUDS @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD. - REFER TO DETAILS ON SHEET A15. <p>◊ FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W1 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> - 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 3/8" SOUND INSULATION. - 1" AIR SPACE. - 3/8" SOUND INSULATION. - 2"x4" WOODS STUDS @ 16" o.c. - 1/2" TYPE 'X' GYPSUM BOARD. - INSTALLED IN WALLS BETWEEN UNITS ONLY. <p>◊ FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W13 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> - 2 LAYERS 1/2" TYPE 'X' GYPSUM BOARD. - 2"x4" STUD WALL @ 16" o.c. - 1/2" TYPE 'X' G.C.B. = 40 min. (TABLE D.2.3.4-4) - 2"x4" @ 16" o.c. = 20 MIN. (TABLE D.2.3.4-5)

BUILDING 2

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

ALL WORK SHALL COMPLY WITH PART 9 OF THE 2015 NATIONAL BUILDING CODE OF CANADA, LOCAL BY-LAW, CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS SET BY AUTHORITIES HAVING JURISDICTION IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

THE CONTRACTOR SHALL EXAMINE THESE DRAWINGS, VERIFY ALL DIMENSIONS & DETAILS AND REPORT ANY ERRORS OR OMISSIONS TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION. DRAFTSMAN DOES NOT PROVIDE ON SITE SUPERVISION OVER THE ACTUAL CONSTRUCTION AND ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE DUE TO ANY ERRORS AND/OR OMISSIONS RESULTING FROM THE USE OF THESE PLANS FOR CONSTRUCTION.

ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION.

THE CITY OR MUNICIPAL BUILDING INSPECTOR MAY REQUIRE CONFIRMATION OF STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, INTERIOR AND EXTERIOR BEARING WALLS, LINTELS, BEAMS, COLUMNS, POSTS, FOOTINGS, PRE-ENGINEERED FLOOR AND TRUSS SYSTEMS, ETC., BY A CERTIFIED STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF NEW BRUNSWICK, WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

SHEET TITLE:

PARTIAL SECOND FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

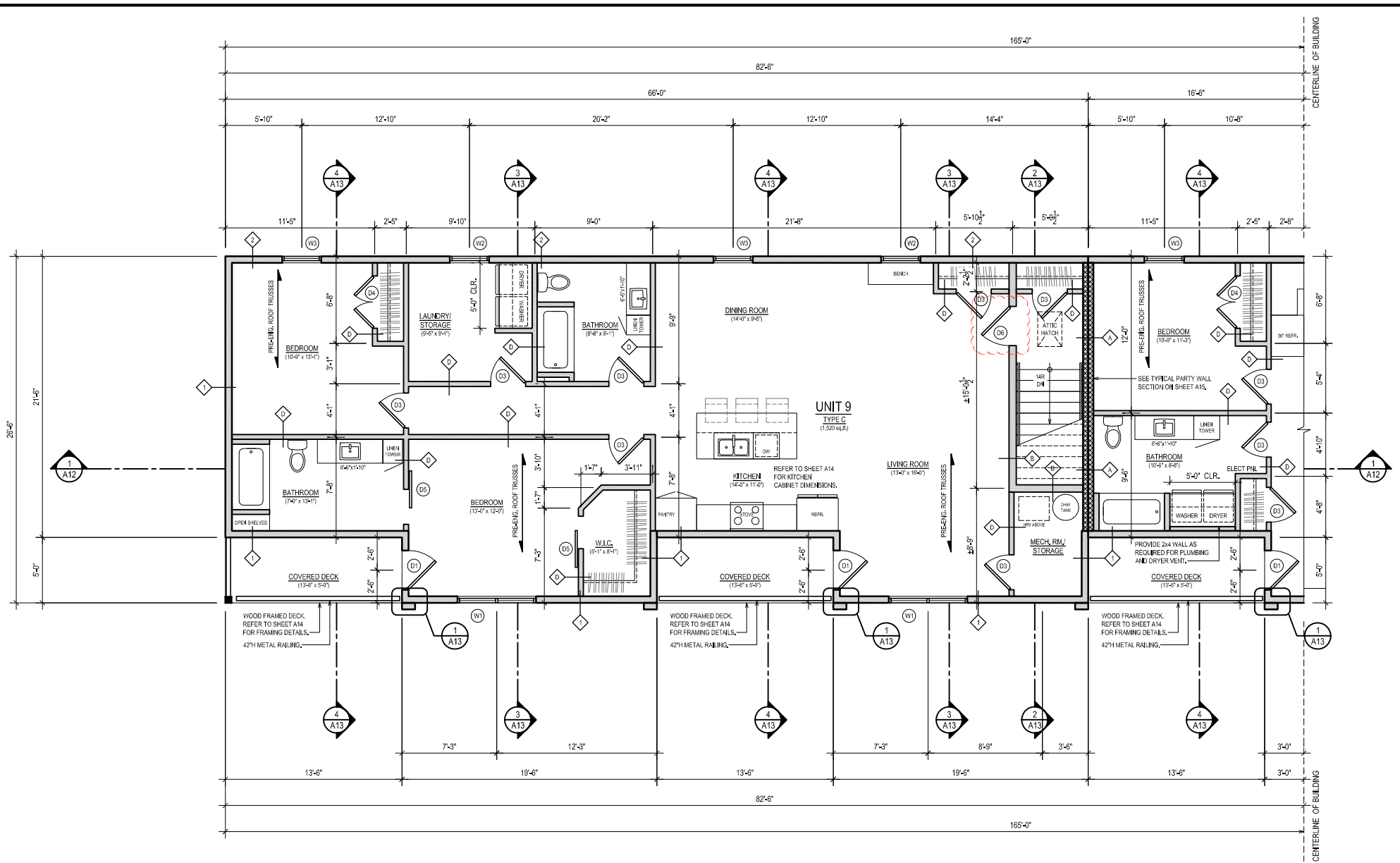
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO.:

A6



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:
<ul style="list-style-type: none"> ◊ EXTERIOR WALL CONSTRUCTION. SEE BELOW. ◊ INTERIOR WALL CONSTRUCTION. SEE BELOW. ▬ 2"x4" WALL CONSTRUCTION. SEE BELOW. ▬ 2"x6" WALL CONSTRUCTION. SEE BELOW. Ⓢ DOOR NUMBER. SEE SHEET A3 FOR DOOR SCHEDULE. Ⓢ WINDOW NUMBER. SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE AS CLEAR DIMENSION.</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURER'S DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p> <p>ATTIC HATCH LOCATION TO BE CONFIRMED ON SITE WITH OWNER. ATTIC HATCH TO HAVE STEEL INSULATED DOOR OR MAGNETIC WEATHERSTRIP AND SHALL HAVE AN TOTAL R-VALUE OF R-40.</p> <p>ALL INTERIOR FINISHES AND MILLWORK FINISHES SHALL BE SELECTED BY OWNER.</p> <p>ELECTRICAL AND MECHANICAL PLANS BY OTHERS AND SHALL COMPLY TO THEIR RESPECTIVE NATIONAL CODERS.</p>	<p>◊ TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ VINYL OR WOOD GRAIN SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. ◊ WEATHER BARRIER (HOUSE WRAP). ◊ 1/2" EXTERIOR GRADE OSB SHEATHING. ◊ 2"x6" STUD WALL @ 16" o.c. ◊ R-22 BATT INSULATION. ◊ 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. ◊ TYPE 'X' GYPSUM BOARD. <p>◊ REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ NON-COMBUSTIBLE METAL SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. ◊ WEATHER BARRIER (HOUSE WRAP). ◊ 1/2" EXTERIOR GRADE OSB SHEATHING. ◊ 2"x6" STUD WALL @ 16" o.c. ◊ R-22 BATT INSULATION. ◊ 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. ◊ TYPE 'X' GYPSUM BOARD. 	<p>◊ PARTY WALL CONSTRUCTION (60 MIN. FIRE RATING - W13a - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ TYPE 'X' GYPSUM BOARD. ◊ 2"x4" WOODS STUDS @ 16" o.c. ◊ 3/8" SOUND INSULATION. ◊ 1" AIR SPACE. ◊ 3/8" SOUND INSULATION. ◊ 2"x4" WOODS STUDS @ 16" o.c. ◊ TYPE 'X' GYPSUM BOARD. ◊ REFER TO DETAILS ON SHEET A15. <p>◊ FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - W1 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ TYPE 'X' GYPSUM BOARD. ◊ 2"x4" STUD WALL @ 16" o.c. ◊ 3/8" SOUND INSULATION. ◊ TYPE 'X' GYPSUM BOARD. ◊ (INSTALLED IN WALLS BETWEEN UNITS ONLY) <p>◊ FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - SP500X - C-2015 NBC)</p> <ul style="list-style-type: none"> ◊ 2 LAYERS TYPE 'X' GYPSUM BOARD. ◊ 2"x4" STUD WALL @ 16" o.c. ◊ TYPE 'X' G.C.B. = 40 min. (TABLE D.2.3.4-A) ◊ 2"x4" @ 16" o.c. = 20 MIN. (TABLE D.2.3.4-A)

BUILDING 2

PROPOSED 9 UNIT BUILDING

ROY MOLLINS DR.
SHEDIAC, NB

GENERAL NOTES:

ALL WORK SHALL COMPLY WITH PART 9 OF THE 2015 NATIONAL BUILDING CODE OF CANADA, LOCAL BY-LAW, CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS SET BY AUTHORITIES HAVING JURISDICTION IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

THE CONTRACTOR SHALL EXAMINE THESE DRAWINGS, VERIFY ALL DIMENSIONS & DETAILS AND REPORT ANY ERRORS OR OMISSIONS TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION. DRAFTSMAN DOES NOT PROVIDE ON SITE SUPERVISION OVER THE ACTUAL CONSTRUCTION AND ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE DUE TO ANY ERRORS AND/OR OMISSIONS RESULTING FROM THE USE OF THESE PLANS FOR CONSTRUCTION.

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SHEET TITLE:

PARTIAL SECOND FLOOR PLAN

DRAWN BY:

GML

SCALE:

1/8" = 1'-0"

DATE:

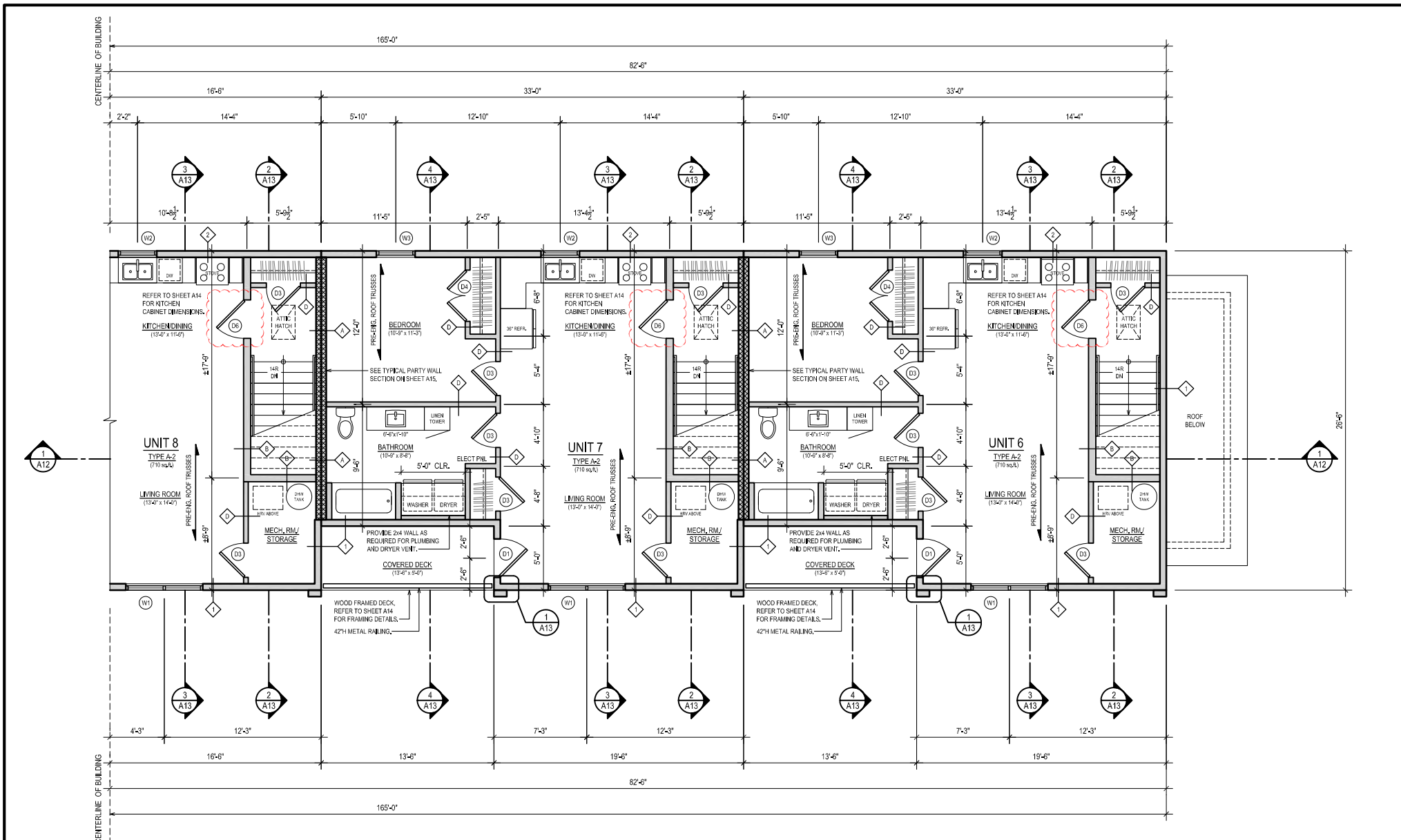
JANUARY 16, 2024

REVISION:

REV. 3 - 01/16/24

SHEET NO:

A7



FLOOR PLAN LEGEND:	FLOOR PLAN NOTES:	EXTERIOR WALL CONSTRUCTION:	INTERIOR WALL CONSTRUCTION:
<ul style="list-style-type: none"> ◊ EXTERIOR WALL CONSTRUCTION. SEE BELOW. ◊ INTERIOR WALL CONSTRUCTION. SEE BELOW. ▬ 2 1/4" WALL CONSTRUCTION. SEE BELOW. ▬ 2 3/8" WALL CONSTRUCTION. SEE BELOW. ⓐ DOOR NUMBER. SEE SHEET A3 FOR DOOR SCHEDULE. Ⓦ WINDOW NUMBER. SEE SHEET A3 FOR WINDOW SCHEDULE. 	<p>ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL). ALL INTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF STUDS (OR OUTSIDE FACE OF FOUNDATION WALL) TO CENTERLINE OF INTERIOR WALLS (UNLESS NOTED OTHERWISE AS CLEAR DIMENSION).</p> <p>WINDOW AND DOOR SIZES INDICATED ARE APPROX. AND SHALL BE ADJUSTED ACCORDING TO SUIT MANUFACTURER'S DIMENSIONS. WINDOWS AND DOORS TO BE CHOSEN IN CONSULTATION WITH OWNER.</p> <p>ALL GRADES TO SLOPE AWAY FROM FOUNDATION WALL. ALL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNER. DOWNSPOUTS ARE TO BE INSTALLED TO DIRECT WATER AWAY FROM FOUNDATION.</p> <p>ATTIC HATCH LOCATION TO BE CONFIRMED ON SITE WITH OWNER. ATTIC HATCH TO HAVE STEEL INSULATED DOOR OR MAGNETIC WEATHERSTRIP AND SHALL HAVE AN TOTAL R-VALUE OF R-6.0.</p> <p>ALL INTERIOR FINISHES AND MILLWORK FINISHES SHALL BE SELECTED BY OWNER.</p> <p>ELECTRICAL AND MECHANICAL PLANS BY OTHERS AND SHALL COMPLY TO THEIR RESPECTIVE NATIONAL CODERS.</p>	<p>1. TYPICAL EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ VINYL OR WOOD GRAIN SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. ◊ WEATHER BARRIER (HOUSE WRAP). ◊ 1/2" EXTERIOR GRADE OSB SHEATHING. ◊ 2x6" STUD WALL @ 16" o.c. ◊ R-22 BATT INSULATION. ◊ 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. ◊ 1/2" TYPE 'X' GYPSUM BOARD. <p>2. REAR EXTERIOR WALL (60 MIN. FIRE RATING - EW2 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ NON-COMBUSTIBLE METAL SIDING. REFER TO ELEVATIONS FOR STYLE AND ORIENTATION. ◊ WEATHER BARRIER (HOUSE WRAP). ◊ 1/2" EXTERIOR GRADE OSB SHEATHING. ◊ 2x6" STUD WALL @ 16" o.c. ◊ R-22 BATT INSULATION. ◊ 6 mil. POLY VAPOUR BARRIER, LAPPED & SEALED. ◊ 1/2" TYPE 'X' GYPSUM BOARD. 	<p>1. PARTY WALL CONSTRUCTION (60 MIN. FIRE RATING - W13 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ 1/2" TYPE 'X' GYPSUM BOARD. ◊ 2x4" WOODS STUDS @ 16" o.c. ◊ 3/8" SOUND INSULATION. ◊ 1" AIR SPACE. ◊ 3/8" SOUND INSULATION. ◊ 2x4" WOODS STUDS @ 16" o.c. ◊ 1/2" TYPE 'X' GYPSUM BOARD. ◊ REFER TO DETAILS ON SHEET A15. <p>2. FIRE RATED EXTERIOR WALL CONSTRUCTION (60 MIN. FIRE RATING - EW1 - TABLE 9.10.3.1-A)</p> <ul style="list-style-type: none"> ◊ 1/2" TYPE 'X' GYPSUM BOARD. ◊ 2x4" STUD WALL @ 16" o.c. ◊ 3/8" SOUND INSULATION. ◊ 1" AIR SPACE. ◊ 3/8" SOUND INSULATION. ◊ 2x4" WOODS STUDS @ 16" o.c. ◊ 1/2" TYPE 'X' GYPSUM BOARD. ◊ 2x4" STUD WALL @ 16" o.c. ◊ 3/8" SOUND INSULATION. ◊ 1" AIR SPACE. ◊ 3/8" SOUND INSULATION. ◊ 2x4" WOODS STUDS @ 16" o.c. ◊ 1/2" TYPE 'X' GYPSUM BOARD. <p>3. FIRE RATED WALL CONSTRUCTION (60 MIN. FIRE RATING - SPEN13 - TABLE D.2.3.4-A)</p> <ul style="list-style-type: none"> ◊ 2 LAYERS 1/2" TYPE 'X' GYPSUM BOARD. ◊ 2x4" STUD WALL @ 16" o.c. ◊ 1/2" TYPE 'X' G.C.B. @ 40 min. (TABLE D.2.3.4-A) ◊ 2x4" @ 16" o.c. @ 20 MIN. (TABLE D.2.3.4-A) <p>4. STANDARD WALL CONSTRUCTION</p> <ul style="list-style-type: none"> ◊ 1/2" GYPSUM BOARD. ◊ 2x4" STUD WALL @ 16" o.c. ◊ 1/2" GYPSUM BOARD.