

**Southeast Planning Review and Adjustment Committee /  
Comité de révision de la planification de la Commission du Sud-Est**

/

**Staff Report / Rapport du personnel**

**Subject / Objet :** Variance Request / Demande de dérogation

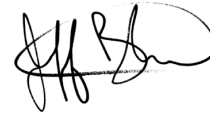
**File number / Numéro du fichier** 25-1464

**From / De :**



Sophie Daigle  
Development Officer / Agent d'aménagement

**Reviewed by / Révisé par :**



Jeff Boudreau  
Manager of Subdivision Approval / Gestionnaire  
d'approbation des lotissements

**General Information / Information générale**

**Applicant / Requéant :**

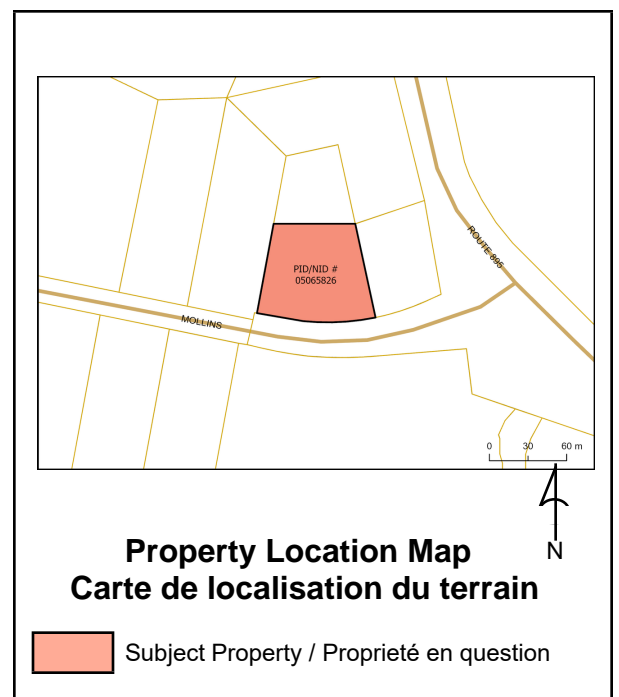
Keith Hogan

**Landowner / Propriétaire :**

Keith Hogan

**Proposal / Demande :**

Variance to reduce the minimum required width of a lot from 54m to 24m. / *Dérogation pour réduire la largeur d'un lot de 54m à 24m.*



**Site Information / Information du site**

**PID / NID:** 05065826, 05108667

**Lot Size / Grandeur du lot:** 4710 m<sup>2</sup> (proposed lot)

**Location / Endroit :**

334 Mollins Road, Town of Salisbury / Village de Salisbury

**Current Use / Usage présent :**

Residential

**Zoning / Zonage :**

RA, IF

**Future Land Use Designation / Désignation de l'utilisation future du sol :**

**Surrounding Use & Zoning / Usage des environs & Zonage :**

Surrounding uses: single-unit dwellings / *Usage des environs: maisons unifamiliales*

Surrounding zoning: Rural Area (RA), Infil Overlay (IF) / *Zonage environ: Zone rurale, terrains intercalaires*

**Municipal Servicing / Services municipaux:**

None / *aucun*

## **Access-Egress / Accès/Sortie :**

*chemin Mollins Road*

## **Policies / Politiques**

### **Town of Salisbury Municipal Plan / Plan municipal de la Ville de Salisbury**

#### 1.3 Plan Goals / Objectifs du plan

c) Provide a diversity of housing options for residents / *offrir une diversité d'options de logement aux résidents*

d) maintain the character of the rural areas / *préserver le caractère des zones rurales*

e) provide a pleasant living and working environment for residents / *offrir un cadre de vie et de travail agréable aux résidents*

#### 4.8 Rural designation / désignation rurale

4.8.3 It is a policy to create an Infill Overlay zone that abuts existing public roads to permit new lots that meet the minimum municipal standards without requiring new infrastructure. / *Il s'agit d'une politique de créer une zone de remplissage qui jouxte les routes publiques existantes afin de permettre la création de nouveaux lots répondant aux normes municipales minimales sans nécessiter de nouvelles infrastructures.*

4.8.5 It is a policy to create a Rural Area zone for the purpose of permitting agriculture, resource activities, cemeteries, and limited residential uses, as well as other compatible land uses in those areas outside the Serviceable Boundary. / *Il s'agit d'une politique visant à créer une zone rurale afin d'autoriser l'agriculture, les activités liées aux ressources, les cimetières et les utilisations compatibles des terres dans les zones situées en dehors de la limite de service.*

4.8.6 It is a policy to encourage residential developments to locate away from resource-based uses, including agriculture, to limit potential conflicts related to noise, smell and environmental impacts. / *Il s'agit d'une politique visant à encourager les développements résidentiels de s'éloigner des utilisations basées sur les ressources, y compris l'agriculture, afin de limiter les conflits potentiels liés au bruit, aux odeurs et aux impacts environnementaux.*

## **Zoning and/or Subdivision Regulation / Réglementations de zonage et/ou de lotissement**

### **Town of Salisbury Zoning By-Law / Arrêté de zonage de la Ville de Salisbury**

#### Part 21 - Infill Overlay (IF) Zone / Zone de terrains intercalaires

21.1 The purpose of the Infill Overlay Zone is to identify areas within 75 metres (246 feet) of the public right of way where smaller lot sizes for residential uses may be accommodated as per section 12.2. / *La zone de terrains intercalaires a pour objectif d'identifier les zones situées à moins de 75 mètres (246 pieds) de l'emprise de la voie publique ou des lots de plus petites taille destinés à un usage résidentiel peuvent être aménagés, conformément à l'article 12.2.*

21.2 The permitted uses in the Infill Overlay Zone shall be any use permitted in the underlying zone. / *Les utilisations autorisées dans la zone de remplissage superposée sont toutes celles autorisées dans la zone sous-jacente.*

#### 12.2 Zone requirements (chart) / exigences de zone (tableau)

Minimum lot area for all other lots/uses / *superficie minimum pour tous autres lots/usages: 4000m<sup>2</sup> (1 acre)*

Minimum lot frontage / *façade minimale du lot: 54m (177ft)*

Minimum depth / *profondeur minimum: 38m (124.6ft)*

## **Internal Consultation & External Consultation / Consultations internes et externes**

Staff have discussed the application internally. / *Le personnel a discuté de la demande à l'interne.*

## Discussion

A tentative subdivision plan named Mollins Excavating Ltd. Subdivision was submitted to Plan 360 by email on August 21st 2025. The purpose of the plan is to create a new residential lot and a lot to accommodate existing conditions. Currently, a dwelling and its on-site septic system are located on PID 05108667. There is a driveway across PID 05065826 that serves as the access from the dwelling to Mollins Road. The lot with the house (PID 05108667) is a parcel attached to the lot with the driveway (PID 05065826). / *Un plan de lotissement provisoire nommé Mollins Excavating Ltd. Subdivision a été soumis à Plan 360 par courriel le 21 août 2025. L'objectif de ce plan est de créer un nouveau lot résidentiel et un lot pour accommoder les conditions existantes. Actuellement, une habitation et son système septique sur place sont situés sur le NID 05108667. Une entrée traverse le NID 05065826 et sert d'accès à la maison jusqu'au chemin Mollins. Le terrain sur lequel se trouve la maison (NID 05108667) est une parcelle rattachée au terrain sur lequel se trouve l'entrée (NID 05065826).*

The subdivision along Mollins Road is permitted, provided that the proposed lots meet the dimensional requirements set out by the Town of Salisbury Zoning By-Law. New lots must also be suitable for their intended use and must not be prejudicial to future development. Lot 25-1 on the subdivision plan meets the minimum dimensional requirements. Lot 25-2 meets the minimum depth and area, but lacks the required width for a typical lot. As such, the applicant is requesting a variance to reduce the minimum required width of a lot from 54m to 24m. / *Le lotissement le long de Mollins Road est autorisé, à condition que les lots proposés répondent aux exigences dimensionnelles fixées par l'arrêté de zonage de la Ville de Salisbury. Les nouveaux lots doivent également être adéquats à l'usage auquel ils sont destinés et ne doivent pas nuire au développement futur. Le lot 25-1 du plan de lotissement répond aux exigences minimales en matière de dimensions. Le lot 25-2 répond aux exigences minimales en matière de profondeur et de superficie, mais ne dispose pas de la largeur requise pour un lot typique. Le requérant demande donc une dérogation afin de réduire la largeur minimale requise d'un lot de 54 m à 24 m.*

When assessing the basis of a variance, the Community Planning Act established the following criteria, or test: / *Lors de l'évaluation de la base d'une dérogation, la loi sur l'urbanisme a établi les critères suivants, ou test :*

### **1. Is it reasonable? / Est-elle raisonnable?**

A minimum width of 54 meters, a minimum depth of 38 meters and an area of at least 4,000 square meters are required for lots located in the Infill Overlay Zone and without municipal water & sewer services in the Town of Salisbury. The purpose of these dimensional requirements is to ensure that there is sufficient space for onsite septic and well without affecting neighboring properties and to provide separation between dwellings in a rural setting. 54 meters to 24 meters is a large reduction, however, the proposed width is large enough to accommodate an access, and in this case, accommodates the shape and length of the existing driveway. The rear portion of the lot meets the minimum dimensions required. For these reasons, staff considers this request reasonable. / *Une largeur minimale de 54 mètres, une profondeur minimale de 38 mètres et une superficie d'au moins 4 000 mètres carrés sont requises pour les lots situés dans la zone de terrains intercalaires et ne disposant pas de services municipaux d'eau et d'égouts dans la Ville de Salisbury. L'objectif de ces exigences dimensionnelles est de garantir un espace suffisant pour une fosse septique et un puits sur place sans affecter les propriétés voisines et d'assurer une séparation entre les habitations dans un environnement rural. Une réduction de 54 mètres à 24 mètres est importante, mais la largeur proposée est suffisante pour accommoder un accès et, dans ce cas, est adaptée à la forme et à la longueur de l'accès existante. La partie arrière du terrain répond aux dimensions minimales requises. Pour ces raisons, le personnel considère cette demande comme raisonnable.*

### **2. Is it desirable for the development of the property? / Est-ce souhaitable pour l'aménagement de la propriété?**

Reducing the width of a lot is generally considered undesirable, however, granting this variance would allow for the creation of a new conforming residential lot. Additionally, with this variance approved, it would allow the creation of a lot which already has a residential development on it, and has the possibility to be further developed, as the usable portion of the proposed flag lot is at the back, which meets the minimum dimensions required, as mentioned above. / *Réduire la largeur d'un terrain est généralement considéré comme indésirable, mais en accordant cette dérogation permettrait la création d'un nouveau terrain résidentiel conforme. De plus, avec cette dérogation approuvée, nous autoriserions la création*

*d'un terrain qui est déjà occupé par un développement résidentiel et qui offre la possibilité d'un développement supplémentaire, car la partie utilisable du terrain en drapeau proposé se trouve à l'arrière et répond aux dimensions minimales requises, comme mentionné ci-dessus.*

### **3. Is it within the intent of the regulation? / Est-ce conforme à l'intention du règlement?**

The Municipal plan intends to maintain the character of rural area and permit new lots abutting existing public roads. The creation of the two proposed lots on this subdivision plan aligns with these goals despite the reduction of the width of Lot 25-2. / *Le plan municipal vise à préserver le caractère rural de la zone et à autoriser la création de nouveaux lots attenants aux voies publiques existantes. La création des deux lots proposés dans ce plan de lotissement est conforme à ces objectifs, malgré la réduction de la largeur du lot 25-2.*

### **Public Notice / Avis public**

Public Notice has been circulated to neighbouring landowners within 100 meters of the property on September 10, 2025. / *Un avis public a été envoyé aux propriétaires fonciers à l'intérieur de 100 mètres de la propriété le 10 septembre 2025.*

### **Legal Authority / Autorité légale**

#### **Community Planning Act / Loi sur l'urbanisme**

Variations from zoning by-law / *Dérogations à l'arrêté de zonage*

55(1) Subject to the terms and conditions it considers fit, the advisory committee or regional service commission may permit: / *Sous réserve des modalités et des conditions qu'il juge indiquées, le comité consultatif ou la commission de services régionaux peut autoriser :*

(b) a reasonable variance from the requirements referred to in paragraph 53(2)(a) or (f) of a zoning bylaw if it is of the opinion that the variance is desirable for the development of a parcel of land or a building or structure and is in keeping with the general intent of the by-law and any plan under this Act affecting the development. / *soit toute dérogation raisonnable aux prescriptions de l'arrêté de zonage visées à l'alinéa 53(2)a) ou f) qu'il estime souhaitable pour l'aménagement d'une parcelle de terrain, d'un bâtiment ou d'une construction et qui est compatible avec l'objectif général de l'arrêté ainsi qu'avec tout plan adopté en vertu de la présente loi et touchant l'aménagement.*

53(2) For greater certainty and without limiting subsection (1), a zoning by-law shall divide the municipality into zones, prescribe the purposes for which land, buildings and structures in a zone may be used and prohibit the use of land, buildings and structures for any other purpose, and may with respect to a zone, regulate / *Pour plus de certitude et sans que soit limitée la portée du paragraphe (1), l'arrêté de zonage répartit la municipalité en zones, prescrit les fins auxquelles les terrains, les bâtiments et les constructions dans une zone peuvent être affectés et interdit toute autre affectation des terrains, des bâtiments et des constructions et peut réglementer pour toute zone:*

(i) the size and dimensions of lots and other parcels into which land may be subdivided, and the size and dimensions of land required for a particular class of use or size of building or structure / *la grandeur et les dimensions des lots et autres parcelles en lesquels le terrain peut être loti ainsi que la grandeur et les dimensions du terrain nécessaires pour toute catégorie particulière d'usages ou toute dimension particulière d'un bâtiment ou d'une construction,*

### **Recommendation / Recommandation**

Staff respectfully recommends that the Southeast Planning Review and Adjustment Committee APPROVE the variance to reduce the width of Lot 25-2 on the tentative subdivision plan Mollins Excavating Ltd., with Job number 17314 by Daigle Surveys, from 54 meters to 24 meters. / *Le personnel recommande respectueusement que le Comité de révision de la planification du Sud-Est APPROUVE la dérogation visant à réduire la largeur du lot 25-2 sur le plan de lotissement provisoire Mollins Excavating Ltd., ayant comme numéro de travail 17314 soumis par Daigle Surveys de 54 mètres*

à 24 mètres.

Note: This report was written in english and translated to a bilingual document. Where a conflict exists between the two languages, the language the report was written shall prevail. / *Note: ce rapport a été rédigé en anglais et traduit en version bilingue. En cas de conflit entre les deux langues, la langue dans laquelle le rapport a été rédigé a préséance.*

**Aerial Map / Carte Aérienne**



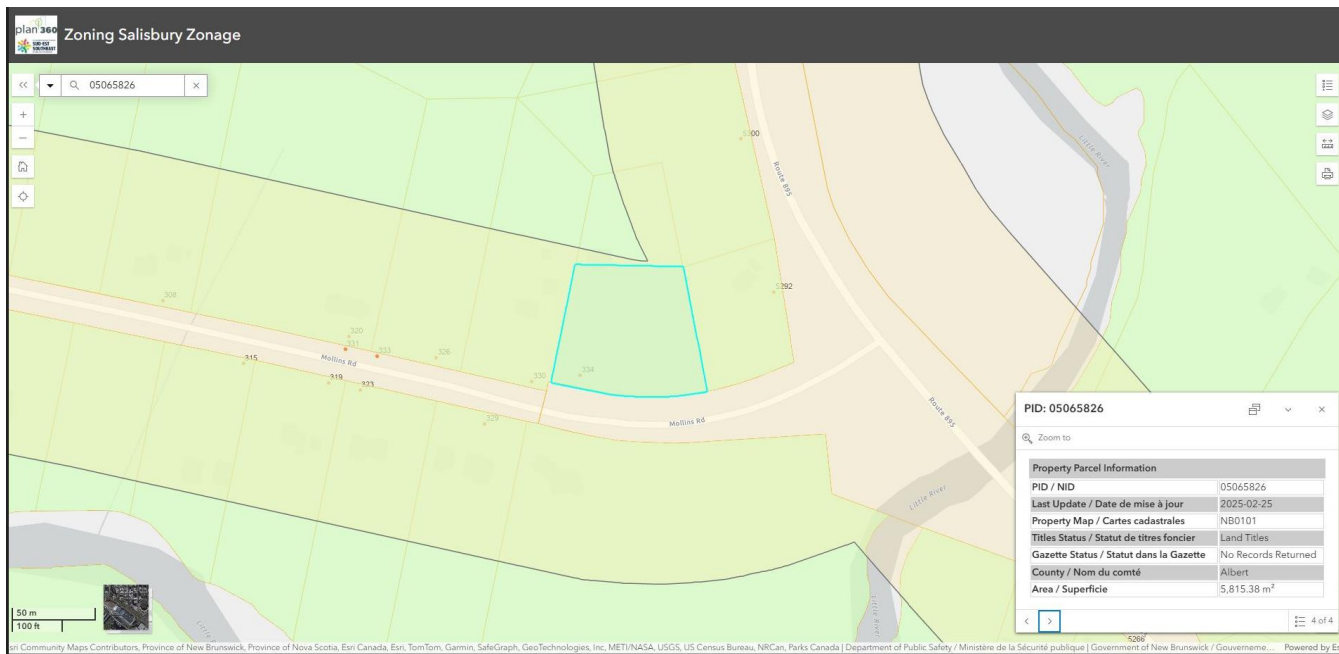
**Main / Principal**  
 1234 rue Main Street, Suite 200  
 Moncton, NB E1C 1H7  
 (506) 238-5386

**Shediac**  
 815A rue Bombardier Street  
 Shediac, NB E4P 1H9  
 (506) 533-3637

**Tantramar**  
 112C rue Main Street  
 Sackville, NB E4L 0C3  
 (506) 364-4701

**Riverview**  
 Operations Centre d'opérations  
 300 rue Robertson Street  
 Riverview, NB E1B 0T8  
 (506) 382-3574

## Zoning map / Carte de zonage



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# Site distance report / Rapport de distance de visibilité

(Voir le verso de cette page pour une version française de ce rapport)

## TENTATIVE SUBDIVISION INSPECTION REPORT

Date: AUGUST 15, 2025

Subdivision Name: MOLLINS EXCAVATING LTD. SUBDIVISION

Parish: COVERDALE County: ALBERT D.O.T. Map Sheet No:

Purpose of Plan: TO CREATE LOT 25-1 FOR RESIDENTIAL BUILDING PURPOSES.  
TO CREATE LOT 25-2 FOR TO ACCOMMODATE EXISTING CONDITIONS.

**Sight Distance at Proposed Intersections (Eye Height=1.05 m):**

Posted Speed Limit Along Highway (km/h)	Object Height & Required Sight Distance		Measured Sight Distance Along Highway							
	Stopping 0.38 m	Intersection 1.30 m	Viewing left and right from access location							
	All Accesses (m)	Locals & Collectors Subdivision Accesses & Commercial, Industrial & Institutional Accesses (m)  (residential accesses must only meet stopping sight distance)	Access 1 Description:				Access 2 Description:			
					Access 1 Description: <u>LOT 25-1</u> Private Entrance <input checked="" type="checkbox"/> Subdivision Access <input type="checkbox"/> Easting/Northing <u>per</u> <u>E - 2611245 - 145 1001</u> <u>N - 1446226 - 422</u>				Access 2 Description: Private Entrance <input type="checkbox"/> Subdivision Access <input type="checkbox"/> Easting/Northing	
			Sight Distance: Adequate <input checked="" type="checkbox"/> Inadequate <input type="checkbox"/> Existing <input type="checkbox"/>				Sight Distance: Adequate <input type="checkbox"/> Inadequate <input type="checkbox"/> Existing <input type="checkbox"/>			
			Stopping	Intersection	Stopping	Intersection	Stopping	Intersection	Stopping	Intersection
			L	R	L	R	L	R	L	R
50	65	115								
*60	85	135	117	96						
70	110	160								
80	140	180								
90	170	200								
100	210	215								

Inadequate sight distance caused by: \_\_\_\_\_

Suggestions for improving sight distance: \_\_\_\_\_

**Grade Information:**  
 Estimated maximum grade on Property: 3 %

Comments: \_\_\_\_\_

**Drainage Design Information:**  
 Municipal Services Easements Required? Yes  No

Comments: \_\_\_\_\_

Intersecting Road Name or Number: MOLLINS ROAD

Description of Intersecting Road Condition: BROKEN CHIP SEAL

Status: Designated  Not Designated  Private  Other

Comments: \_\_\_\_\_

(Add additional page if necessary)

Job # 17314

Geoff Surveys

Inspector: Warren C. [Signature]



## Town of Salisbury Zoning By-Law / Arrêté de zonage de la Ville de Salisbury

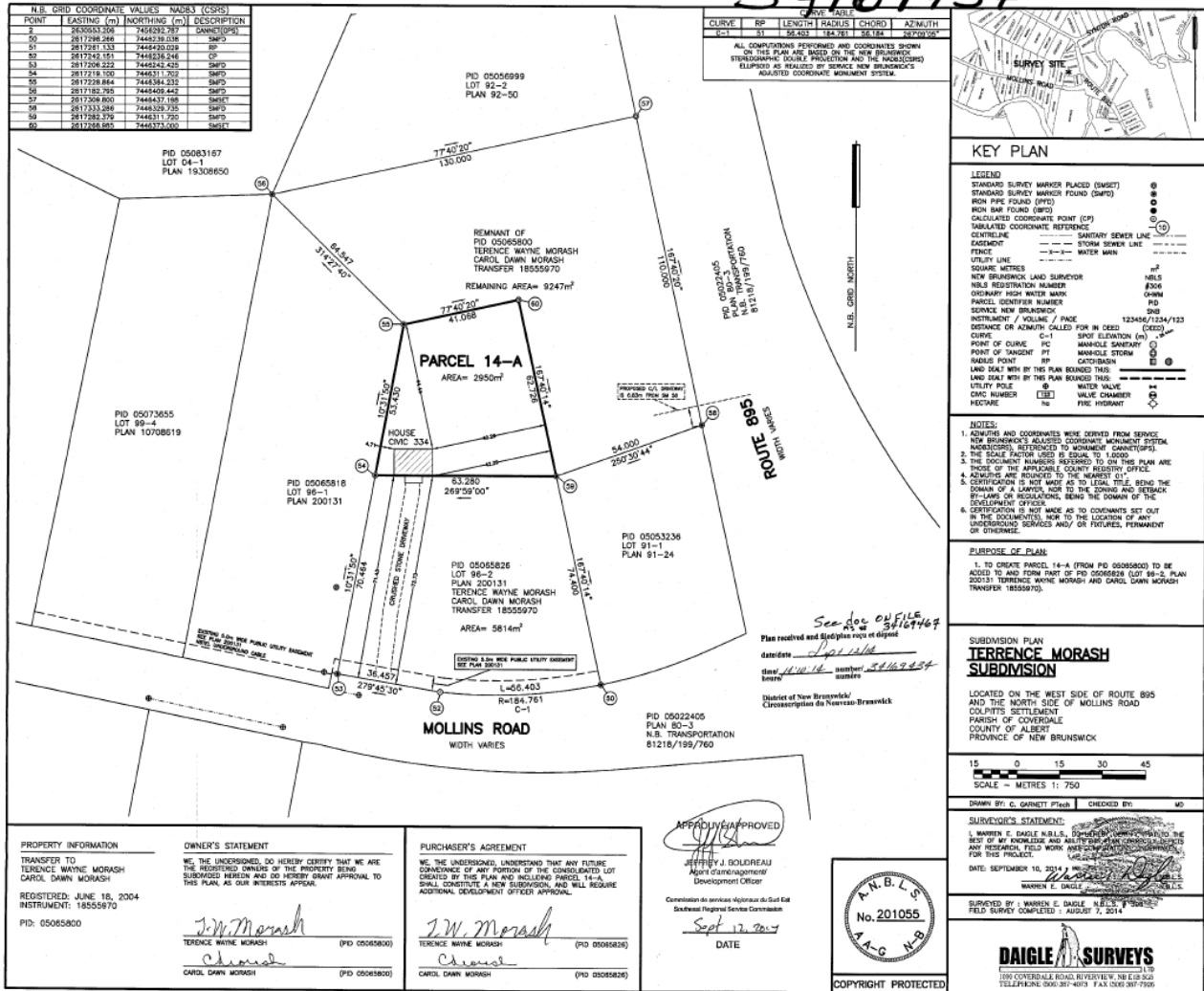
### 12.2 Zone Requirements

- a) Any permitted use, or new lot, in the Rural Area zone shall comply with the following regulations:

Rural Residential (RR) Zone	Single Dwelling Unit on Public Sewer	All other lots/uses
Minimum Lot Area	1207.7 m <sup>2</sup> (12,999.68 ft <sup>2</sup> )	4000 m <sup>2</sup> (1 acre)
Minimum Lot Frontage	30.5 m (100 ft)	54 m (177 ft)
Minimum Depth	30 m (98.4 ft)	38 m (124.6 ft)
Minimum Front or Flankage Yard		
Arterial or collector highway	15 m (49.2 ft)	15 m (49.2 ft)
All other streets and roads	12 m (39.3 ft)	12 m (39.3 ft)
Minimum Rear Yard	7.6 m (25 ft)	7.6 m (25 ft)
Minimum Side Yard		
one side	3 m (9.8 ft)	3 m (9.8 ft)
other side	3 m (9.8 ft)	3 m (9.8 ft)
Maximum Building Height	11 m (36 ft)	11 m (36 ft)
Maximum Lot Coverage	50%	50%

Subdivision plan number 34169434 / Plan de lotissement no. 34169434

34169434



**KEY PLAN**

**LEGEND**

- STANDARD SURVEY MARKER PLACED (SMPT)
- STANDARD SURVEY MARKER FOUND (SMPT)
- IRON PIPE FOUND (IPF)
- IRON BAR FOUND (IBF)
- CALCULATED COORDINATE POINT (CP)
- ADJUSTED COORDINATE REFERENCE CURVELINE
- EXISTING UTILITY
- NEW BRUNSWICK LAND SURVEYOR
- NEW REGISTRATION NUMBER
- DISCHARGE HIGH WATER MARK
- PANEL IDENTIFIER NUMBER
- DISCHARGE NEW BRUNSWICK INSTRUMENT / VOLUME / PAGE
- DISTANCE OR AZIMUTH CALLED FOR IN DEED
- CURVE
- POINT OF CURVE
- POINT OF TANGENT
- MARKED POINT
- LAND DEALT WITH BY THIS PLAN BOUNDARY
- UTILITY POLE
- CHUCK NUMBER
- HECTARE

- NOTES:**
- ADJUSTED AND COORDINATES WERE DERIVED FROM SERVICE NEW BRUNSWICK'S ADJUSTED COORDINATE REFERENCE SYSTEM (ACRS), REFERENCED TO MONUMENT CANNET(GPS).
  - THE SCALE FACTOR USED IS EQUAL TO 1.0000.
  - THE DOCUMENT NUMBERS REFERRED TO ON THIS PLAN ARE THOSE OF THE APPLICABLE COUNTY RECORDS OFFICE.
  - ADJUSTMENTS ARE MADE TO THE NEAREST 0.1'.
  - CERTIFICATION IS NOT MADE AS TO LEGAL TITLE, BEING THE DOMAIN OF A LAWYER, NOR TO THE SOUND AND RETRACK BY-LAWS OR REGULATIONS, BEING THE DOMAIN OF THE DEVELOPMENT OFFICER.
  - IF THE DRAWING IS NOT MADE AS TO COORDINATES SET OUT IN THE DOCUMENTS, NOR TO THE LOCATION OF ANY UNDERGROUND SERVICES AND/OR UTILITIES, PERMANENT OR OTHERWISE.

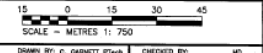
**PURPOSE OF PLAN**

1. TO CREATE PARCEL 14-A (FROM PID 0505800) TO BE ADDED TO AND FORM PART OF PID 0505800 (LOT 96-2, PLAN 200131) TERENCE WAYNE MORASH AND CAROL DAWN MORASH TRANSFER 18555970.

**SUBDIVISION PLAN**

**TERENCE MORASH SUBDIVISION**

LOCATED ON THE WEST SIDE OF ROUTE 895 AND THE NORTH SIDE OF MOLLINS ROAD COLTIFITS SETTLEMENT PARISH OF COVERDALE COUNTY OF ALBERTA PROVINCE OF NEW BRUNSWICK



DRAWN BY: C. GARNETT P.ENG. CHECKED BY: MD

**SURVEYOR'S STATEMENT:**

I, WARREN E. DAIGLE N.B.L.S. (P) 201055, DEVELOPER, HAVE PREPARED THE BEST OF MY KNOWLEDGE AND BELIEFS AND HAVE CONDUCTED ALL NECESSARY FIELD SURVEYS AND RESEARCH TO PREPARE THIS PLAN AND TO SUPPORT THE SAME FOR THIS PROJECT.

DATE: SEPTEMBER 16, 2014

WARREN E. DAIGLE N.B.L.S. (P) 201055

**DAIGLE SURVEYS**

1000 COVERDALE ROAD, RIVerview, NB E1B 3G0  
TELEPHONE: 506-387-4017 FAX: 506-387-7105

JOB No.: 13942 MAP: 21/02-R1

**PROPERTY INFORMATION**

TRANSFER TO TERENCE WAYNE MORASH CAROL DAWN MORASH

REGISTERED: JUNE 16, 2004 INSTRUMENT: 18555970

PID: 0505800

**OWNER'S STATEMENT**

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE REGISTERED OWNERS OF THE PROPERTY BEING SUBDIVIDED HEREIN AND DO HEREBY GRANT APPROVAL TO THIS PLAN AS OUR INTERESTS APPEAR.

TERENCE WAYNE MORASH (PID 0505800)  
CAROL DAWN MORASH (PID 0505800)

**PURCHASER'S AGREEMENT**

WE, THE UNDERSIGNED, UNDERSTAND THAT ANY FUTURE CONVEYANCE OF ANY PORTION OF THE CONSOLIDATED LOT CREATED BY THIS PLAN AND INCLUDING PARCEL 14-A SHALL CONSTITUTE A NEW SUBDIVISION, AND WILL REQUIRE ADDITIONAL DEVELOPMENT OFFICER APPROVAL.

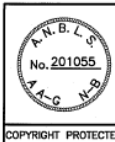
TERENCE WAYNE MORASH (PID 0505800)  
CAROL DAWN MORASH (PID 0505800)

**APPROVED**

JEFFREY J. BOLDREAU  
Notary d'arrondissement  
Development Officer

Conseiller de services administratifs du Sud-Est  
Sud-est Regional Service Commission

DATE: Sept 17, 2014



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(506) 382-3574

N.B. GRID COORDINATE VALUES NAD83 (CSRS)				CURVE TABLE					
POINT	NORTHING (m)	EASTING (m)	DESCRIPTION	CURVE	RP	LENGTH	RADIUS	CHORD	AZIMUTH
50	7446239.038	2617298.266	SMFD	C-1	51	56.403	184.761	56.184	267°09'05"
51	7446420.029	2617261.133	RP						
52	7446236.246	2617242.151	CP						
53	7446242.425	2617206.222	SMFD						
54	7446311.702	2617219.100	SMFD						
55	7446364.233	2617228.864	SMFD						
59	7446311.720	2617282.379	SMFD						
60	7446373.000	2617268.985	SMFD						
61	7446293.057	2617240.043	SMSET						
62	7446311.710	2617245.611	SMSET						
64	7446238.357	2617229.874	SMSET						
24393	7445217.410	2617298.500	MON						

ALL COMPUTATIONS PERFORMED AND COORDINATES SHOWN ON THIS PLAN ARE BASED ON THE NEW BRUNSWICK STEREOGRAPHIC DOUBLE PROJECTION AND THE NAD83(CSRS) ELLIPSOID AS REALIZED BY SERVICE NEW BRUNSWICK'S HIGH PRECISION CONTROL NETWORK.

PID 05073655  
JORDON FREDERICK HOVEY  
MINDY RAE HOVEY  
TRANSFER 41185746  
LOT 99-4  
PLAN 10708619

# TENTATIVE PLAN

PID 05065818  
MICHAEL LAYDEN  
SANDRA ARSENAULT  
TRANSFER 35978  
LOT 96-1  
PLAN 200131

PID 05065800  
NORMAN DOUGLAS BROWN  
TRANSFER 39350039  
PLAN 34169434

PID 05053236  
CHERRY LEAH GLADSTONE  
STUART RALPH GLADSTONE  
TRANSFER 29832939  
LOT 91-1  
PLAN 91-24

PID 05022405  
N.B. TRANSPORTATION  
DEED 81218/199/760  
PLAN 80-3

PID 05089925  
DULCIE MAY KNEE  
DONALD BAXTER KNEE  
TRANSFER 20599362

REGISTRATION STAMP

DEVELOPMENT OFFICER'S APPROVAL STAMP

### PROPERTY INFORMATION

DEED/TRANSFER TO  
KEITH KEVIN HOGAN  
TABITHA MARIE HOGAN

PID 05065826  
REGISTERED FEBRUARY 25, 2025  
INSTRUMENT 45828952  
LOT 96-2  
PLAN 200131

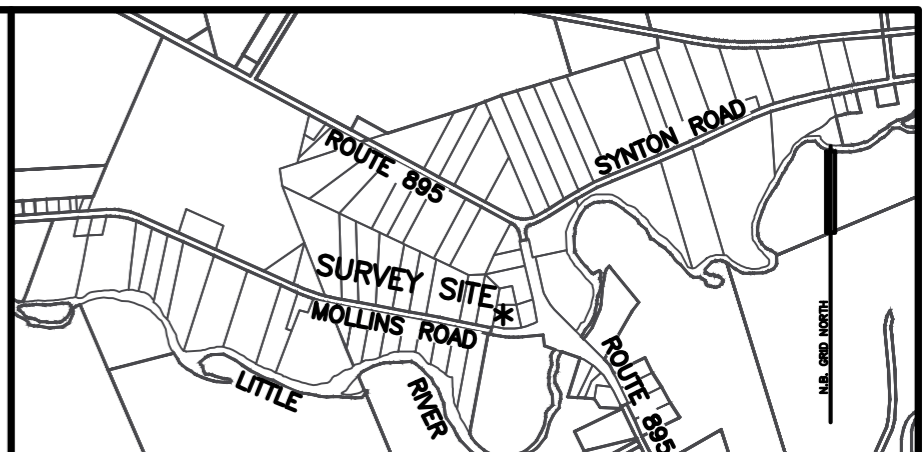
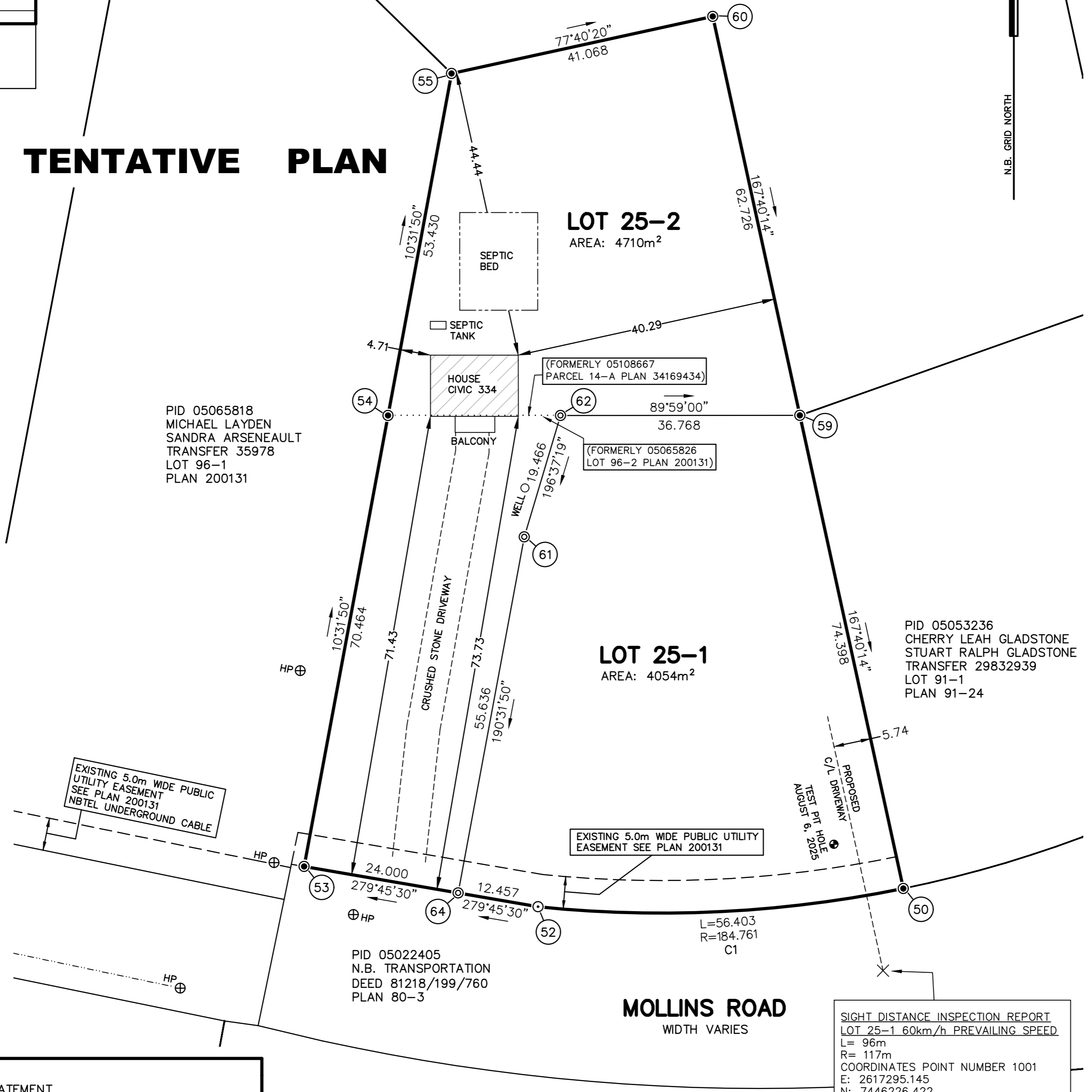
PID 05108667  
REGISTERED FEBRUARY 25, 2025  
INSTRUMENT 45828952  
LOT 14-A  
PLAN 34169434

### OWNERS STATEMENT

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE REPRESENT THE REGISTERED OWNERS OF THE PROPERTIES BEING SUBDIVIDED HEREON AND DO HEREBY GRANT APPROVAL TO THIS PLAN, AS OUR INTERESTS APPEAR.

TABITHA MARIE HOGAN PID 05065826  
PID 05108667

KEITH KEVIN HOGAN PID 05065826  
PID 05108667



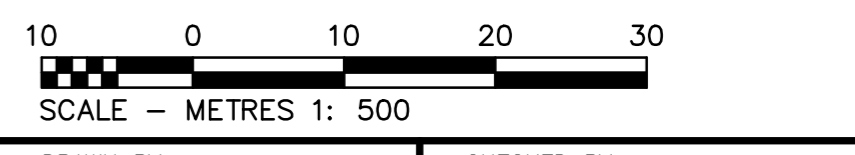
### KEY PLAN

LEGEND	
STANDARD SURVEY MARKER PLACED (SMSET)	⊕
STANDARD SURVEY MARKER FOUND (SMFD)	⊙
IRON PIPE FOUND (IPFD)	⊖
IRON BAR FOUND (IBFD)	⊗
CALCULATED COORDINATE POINT (CP)	⊙
TABULATED COORDINATE REFERENCE	⑩
CENTRELINE	— — — — —
EASEMENT	— — — — —
FENCE	-X-X-
UTILITY LINE	— — — — —
SANITARY SEWER LINE	— — — — —
STORM SEWER LINE	— — — — —
WATER MAIN	— — — — —
SQUARE METRES	m²
NEW BRUNSWICK LAND SURVEYOR	NBLS
NBLS REGISTRATION NUMBER	#306
ORDINARY HIGH WATER MARK	OHWM
PARCEL IDENTIFIER NUMBER	PID
SERVICE NEW BRUNSWICK	SNB
INSTRUMENT / VOLUME / PAGE	123456/1234/123
DISTANCE OR AZIMUTH CALLED FOR IN DEED (DEED)	(DEED)
CURVE	C-1
POINT OF CURVE	PC
POINT OF TANGENT	PT
RADIUS POINT	RP
LAND DEALT WITH BY THIS PLAN BOUNDED THUS:	— — — — —
UTILITY POLE	⊕
CIVIC NUMBER	123
HECTARE	ha
SPOT ELEVATION (m)	+28.4mm
MANHOLE SANITARY	⊙
MANHOLE STORM	⊙
CATCHBASIN	⊙
WATER VALVE	⊕
VALVE CHAMBER	⊕
FIRE HYDRANT	⊕

- NOTES:**
1. AZIMUTHS AND COORDINATES WERE DERIVED FROM SERVICE NEW BRUNSWICK'S HIGH PRECISION CONTROL NETWORK, NAD83(CSRS), REFERENCED TO MONUMENT 24393(MON).
  2. THE SCALE FACTOR USED IS EQUAL TO 1.000017
  3. THE DOCUMENT NUMBERS REFERRED TO ON THIS PLAN ARE THOSE OF THE APPLICABLE COUNTY REGISTRY OFFICE.
  4. AZIMUTHS ARE ROUNDED TO THE NEAREST 01".
  5. CERTIFICATION IS NOT MADE AS TO LEGAL TITLE, BEING THE DOMAIN OF A LAWYER, NOR TO THE ZONING AND SETBACK BY-LAWS OR REGULATIONS, BEING THE DOMAIN OF THE DEVELOPMENT OFFICER.
  6. CERTIFICATION IS NOT MADE AS TO COVENANTS SET OUT IN THE DOCUMENT(S), NOR TO THE LOCATION OF ANY UNDERGROUND SERVICES AND/ OR FIXTURES, PERMANENT OR OTHERWISE.

- PURPOSE OF PLAN:**
1. TO AMEND LOT 96-2 ON PLAN 200131 (PID 05065826) REGISTERED MAY 31, 1996.
  2. TO AMEND PARCEL 14-A ON PLAN 34169434 (PID 05108667) REGISTERED SEPTEMBER 12, 2014.
  3. TO CREATE LOT 25-1 FOR RESIDENTIAL BUILDING PURPOSES.
  4. TO CREATE LOT 25-2 TO ACCOMMODATE EXISTING CONDITIONS.

AMENDING SUBDIVISION PLAN  
**MOLLINS EXCAVATING LTD. SUBDIVISION**  
AMENDING SUBDIVISION PLANS 200131 & 34169434  
LOCATED ON THE NORTH SIDE OF  
MOLLINS ROAD  
COLPITTS SETTLEMENT  
MUNICIPALITY OF SALISBURY  
PARISH OF COVERDALE  
COUNTY OF ALBERT  
PROVINCE OF NEW BRUNSWICK

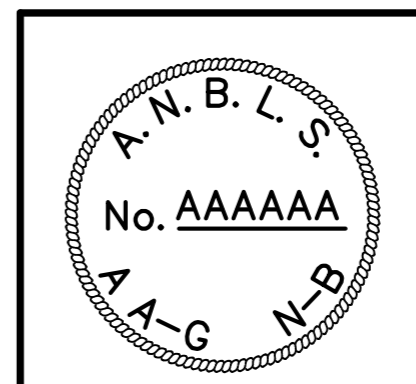


DRAWN BY: M.W. CHECKED BY: WD

**SURVEYOR'S STATEMENT:**  
I, WARREN E. DAIGLE N.B.L.S., DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND ABILITY THIS PLAN CORRECTLY DEPICTS ANY RESEARCH, FIELD WORK AND COMPUTATIONS UNDERTAKEN FOR THIS PROJECT.

DATE: AUGUST 11, 2025  
**TENTATIVE** N.B.L.S.  
WARREN E. DAIGLE N.B.L.S.

SURVEYED BY: WARREN E. DAIGLE N.B.L.S. # 306  
FIELD SURVEY COMPLETED: AUGUST 6, 2025



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