

**Southeast Planning Review and Adjustment Committee /
Comité de révision de la planification de la Commission du Sud-Est**
/

Staff Report / Rapport du personnel

Subject / Objet : Variance Request / Demande de dérogation

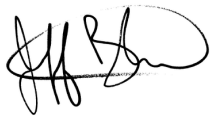
File number / Numéro du fichier 26-0016

From / De :



Patrick Gaudet
Development Officer / Agent d'aménagement

Reviewed by / Révisé par :



Jeff Boudreau
Manager of Subdivision Approval / Gestionnaire
d'approbation des lotissements

General Information / Information générale

Applicant / Requérant :

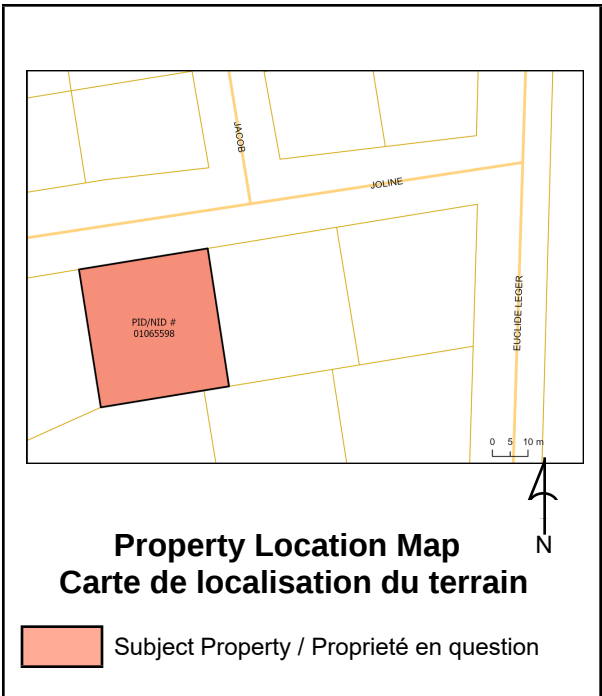
Sabrina Mable Jordan Station Design Co Inc.

Landowner / Propriétaire :

Cameron Stone

Proposal / Demande :

Variance request to reduce the required front yard from a private street from 4.5m to 1m / *Demande de dérogation visant à réduire la cour avant requise à partir d'une rue privée de 4,5m à 1m.*



Site Information / Information du site

PID / NID: 01065598

Lot Size / Grandeur du lot: 1394 m²

Location / Endroit :

Joline Street, Town of Cap-Acadie / Ville de Cap-Acadie

Current Use / Usage présent :

Vacant

Zoning / Zonage :

Coastal Residential & Sea-Level-Rise

Future Land Use Designation / Désignation de l'utilisation future du sol :

Surrounding Use & Zoning / Usage des environs & Zonage :

Surrounding Zoning: / *Zonage environnant:* Coastal Residential (CR), Environment Conservation (E), Sea-Level Rise / *Résidentielle côtière (RC), Préservation de l'environnement et Élévation du niveau de la mer*

Surrounding uses: / *Usages avoisinants:* Single-Unit Dwellings, cottages / *Maison unifamiliales, chalets*

Municipal Servicing / Services municipaux:

Public Sewer / *Égout public*

Policies / Politiques

Regional Town of Cap-Acadie Municipal Plan By-law No. CA-17 / *Ville Régionale de Cap-Acadie Plan municipal Arrêté No. CA-17*

6.0 HOUSING POLICIES / PRINCIPES LIÉS AUX LOGEMENTS

It is a policy of Council to increase the number of housing units within its territory. / *Le Conseil a pour principe d'augmenter le nombre de logements sur son territoire.*

It is a policy of Council to promote residential density in areas served by municipal infrastructure. / *Le Conseil a pour principe de promouvoir la densité résidentielle dans les endroits qui sont desservis par l'infrastructure municipale.*

It is proposed that residential development outside village nodes be low-density. / *Il est proposé que le développement résidentiel à l'extérieur des nœuds villageois soit de faible densité.*

12.0 POLICIES RELATING TO THE ENVIRONMENT AND CLIMATE CHANGE / PRINCIPES LIÉS À L'ENVIRONNEMENT ET AUX CHANGEMENTS CLIMATIQUES

It is a policy of Council to recognize that coastal wetlands, dunes, and beaches are shifting as a result of rising sea levels. / *Le Conseil a pour principe de reconnaître que les terres humides côtières, les dunes et les plages se déplacent en raison de l'élévation du niveau de la mer.*

It is a policy of Council to recognize the role that ecosystems can play in mitigating and adapting to climate change. / *Le Conseil a pour principe de reconnaître le rôle que les écosystèmes peuvent jouer pour mitiger et s'adapter au changement climatique.*

It is a policy of Council to protect development in areas at risk from climate change throughout the Municipality by implementing measures to help residents adapt. / *Le Conseil a pour principe de protéger l'aménagement dans les zones à risque du changement climatique dans l'ensemble de la Municipalité en mettant en place des mesures pour aider les citoyens à s'adapter.*

It is a policy of Council to adopt best practises for climate change adaptation in the design and planning phases of public building and infrastructure development. / *Le Conseil a pour principe d'adopter les meilleures pratiques d'adaptation pour les bâtiments et les infrastructures publiques en tenant compte des changements climatiques dans la phase de conception et de planification du développement des projets.*

It is a policy of Council to prevent the creation of streets in areas at risk from climate change. / *Le Conseil a pour principe d'éviter la création de nouvelles rues dans la zone Élévation du niveau de la mer.*

It is a policy of Council to avoid new public infrastructure in or near wetlands and watercourses. / *Le Conseil a pour principe d'éviter toute nouvelle infrastructure publique dans ou près des terres humides et des cours d'eau.*

It is a policy of Council to recognize that some existing lots are located in areas at risk from climate change and to limit development in these areas to small-scale, low-density projects. / *Le Conseil a pour principe de reconnaître que certains lots existent déjà dans les zones à risque du changement climatique, et de seulement permettre des développements de petite envergure et de faible densité à ces endroits.*

It is a policy of Council to work with nature by preserving natural environments that can provide an equivalent to municipal infrastructure, such as green infrastructure. / *Le Conseil a pour principe de travailler avec la nature et de préserver les milieux naturels qui peuvent offrir l'équivalent d'infrastructure municipale, tel que des infrastructures vertes.*

It is a policy of Council to consider variances for wetland and watercourse setbacks, in consultation with provincial agencies, where no alternative development options exist on an existing lot, provided that the request is deemed reasonable and demonstrates how the environmental impact of the proposed development will be mitigated. / *Le Conseil a pour principe que, lorsqu'il n'y a pas d'autres solutions pour un aménagement sur un lot existant, d'envisager des dérogations aux marges de recul des terres humides et des cours d'eau, en consultation avec les organismes provinciaux, à condition que la demande soit jugée raisonnable et qu'elle démontre comment l'impact environnemental de l'aménagement proposé sera atténué.*

It is a policy of Council to protect areas vulnerable to development, including but not limited to, coastal environments at risk of coastal squeeze, wetlands, and watercourses. / *Le Conseil a pour principe de protéger les endroits vulnérables au développement, y compris, sans toutefois s'y limiter, les milieux côtiers sensibles au télescopage côtier, les terres humides et les cours d'eau.*

It is a policy of Council to establish inland flood risk zones and implement the proposed adaptation measures based on a projected 100-year flood model at the time of the Plan's adoption, to reduce climate change impacts on land-use planning. / *Le Conseil a pour principe d'établir les zones à risque d'inondation à l'intérieur des terres et de suivre les mesures d'adaptation proposées en prévision d'un événement de crue centennale, telle que modélisé au moment de l'entrée en vigueur du plan, afin de réduire les effets des changements climatiques sur l'aménagement du territoire.*

It is proposed to create a coastal residential zone for existing lots in areas at risk from climate change and to limit the residential density permitted in this zone. / *Il est proposé de créer une zone résidentielle côtière pour les lots déjà existants dans les endroits à risque du changement climatique et de limiter la densité résidentielle permise dans cette zone.*

It is proposed to establish mechanisms in the Zoning By-law to guide development away from sites vulnerable to climate change while ensuring that this redirection does not prevent landowners from using their property. / *Il est proposé d'établir des mécanismes dans l'arrêté de zonage qui orientent le développement hors des sites vulnérables aux changements climatiques, tout en veillant à ce que cette réorientation ne prive pas le propriétaire de la possibilité d'utiliser son terrain.*

It is proposed to impose setbacks from watercourses and wetlands based on the most up-to-date and precise mapping available at the time of application. / *Il est proposé d'imposer des marges de recul par rapport aux cours d'eau et aux terres humides en se fondant sur la cartographie la plus récente et la plus précise disponible au moment de la demande.*

14.0 MUNICIPAL INFRASTRUCTURE POLICIES / PRINCIPES LIÉS AUX LES INFRASTRUCTURES MUNICIPALES

It is a policy of Council to promote development in areas serviced by the sanitary sewer system to achieve a return on municipal infrastructure investments. / *Le Conseil a pour principe de promouvoir le développement dans les endroits desservis par le système des égouts sanitaires afin de rentabiliser les investissements servant aux infrastructures municipales.*

It is a policy of Council to reject new public roads in areas at risk due to climate change. / *Le conseil a pour principe de ne pas accepter de rue publique dans les zones à risque des changements climatiques.*

21.0 ENVIRONMENTAL PROTECTION DESIGNATION / DÉSIGNATION PRÉSERVATION DE L'ENVIRONNEMENT

It is a policy of Council to limit development in the Environmental Conservation zone to low-impact uses, such as passive recreation (e.g., hiking, birdwatching) and conservation-related activities. / *Il est pour principe que dans la zone de conservation de l'environnement, le développement sera limité à des usages à faible impact tels que les loisirs passifs (par exemple, la randonnée, l'observation des oiseaux) et les activités liées à la conservation.*

Zoning and/or Subdivision Regulation / Réglementations de zonage et/ou de lotissement

2.1 DEFINITIONS OF USE / *DÉFINITIONS D'USAGE*

2.1.33 “dwelling, single-unit” means a dwelling containing only one dwelling unit / *« habitation unifamiliale » désigne un bâtiment contenant un seul logement*

5.2 RESIDENTIAL ZONES / *ZONES RÉSIDENTIELLES*

5.2.4 Table: Applicable standards for R and CR zones / *Tableau: Normes applicables pour les zones R et RC*

Required front yard or required flankage yard from a private street / *Cour avant réglementaire ou cour de flanc réglementaire d'une rue privée : 4.5 m*

Required rear yard / *Cour arrière requise : 6 m*

Required side yard / *Cour latérale requise : 3m from the limit and 1.5 on the other / 3 m par rapport à la limite et 1,5 m par rapport à l'autre*

Internal Consultation & External Consultation / Consultations internes et externes

This request was discussed amongst SERSC planning and development staff. / *Cette demande a été discutée entre le personnel de planification et d'aménagement de la CSRSE.*

Staff of the Regional Town of Cap-Acadie was consulted regarding this development. Correspondence can be found in the schedules. / *Le personnel de la Ville régionale de Cap-Acadie a été consulté concernant à ce développement. La correspondance se trouve dans les annexes.*

The Greater Shediac Sewerage Commission was consulted related to this development and had no objections. / *La Commission des Égouts Shediac et Banlieus a été consulté concernant ce développement et a aucune objection.*

Public Utility Companies were consulted related to this development and had no objections. / *Les représentants des fournisseurs de services publics ont été consultés au sujet de ce développement et n'ont soulevé aucune objection.*

NB Power was consulted related to this development / *Énergie NB a été consultés au sujet de ce développement.*

“Thank you for the opportunity to review and comment on the tentative plan. Given the specific request within the restricted area available, we can allow the absence of a 5.0-meter-wide PUE.”

Discussion

An application was received by the Southeast Regional Service Commission for the construction of a new 100.3 sq. m. (1080 sq. ft.), 1.5 storey single-unit dwelling on the property identified as PID 01065598. The subject property is located on Joline Street, a private street located in Cap-Acadie. Under the Regional Town of Cap-Acadie By-law No. CA-18, the lot is zoned Coastal Residential (CR), which permits a single-unit dwelling, and is also located within the Sea-Level Rise Zone (SLR). / *Une demande a été reçue par la Commission de services régionaux du Sud-Est pour la construction d'une nouvelle habitation unifamiliale de 100,3 m² (1 080 pi²), d'un étage et demi, sur la propriété identifiée comme le NID 01065598. La propriété visée est située sur la rue Joline, une rue privée située à Cap-Acadie. En vertu du règlement no CA-18 de la Ville régionale de Cap-Acadie, le lot est zoné Résidentiel côtier (RC), ce qui permet une habitation unifamiliale, et se trouve également à l'intérieur de la zone de hausse du niveau de la mer (HNM).*

The property is identified as Lot 70 on subdivision plan number 7549, registered in 1972. Additionally, most of the lot is within a provincially significant wetland buffer. To avoid encroachment into this buffer, the applicant proposes to orient the dwelling at an angle in the northeastern corner of the lot, resulting in a reduced front yard setback from the private street from 4.5m to 1m. Consequently, the applicant is seeking a variance to reduce the required front yard from a private street from 4.5m to 1m. / *La propriété est identifiée comme le lot 70 sur le plan de lotissement no 7549, enregistré en 1972. De plus, la majeure partie du lot est située à l'intérieur d'une zone tampon d'un milieu humide d'importance provinciale. Afin d'éviter tout empiètement dans cette zone tampon, le demandeur propose d'orienter l'habitation en angle dans le coin nord-est du lot, ce qui entraîne une réduction du retrait de la cour avant par rapport à la rue privée, de 4,5m à 1m. Par conséquent, le demandeur demande une dérogation afin de réduire le retrait avant requis le long d'une rue privée de 4,5m à 1m.*

The site plan, construction drawings, and WAWA permit can be found in the schedules. / *Le plan de site, les plans de construction ainsi que le permis WAWA sont inclus aux annexes.*

Each variance request must be evaluated on a case-by-case basis, taking into consideration the specific context of the lot and its surroundings. In assessing a variance application, the Community Planning Act outlines the following criteria: / *Chaque demande de dérogation doit être évaluée au cas par cas, en tenant compte du contexte particulier du lot et de son environnement. Lors de l'analyse d'une demande de dérogation, la Loi sur l'urbanisme prévoit les critères suivants :*

Is it within the intent of the Rural Plan? / *Est-ce conforme à l'intention du plan rural?*

The general intent of the 4.5 m front yard setback is to provide adequate space for servicing and public utilities, ensure a safe separation between buildings and traffic to reduce the risk of collisions, and protect buildings from debris generated during snow removal operations. / *L'intention générale du retrait avant de 4,5m est de prévoir un espace suffisant pour les services et les services publics, d'assurer une séparation sécuritaire entre les bâtiments et la circulation afin de réduire les risques de collision, et de protéger les bâtiments contre les débris générés lors des opérations de déneigement.*

The subject lot has access to public sewer; the Greater Shediac Sewerage Commission was contacted and raised no objections to the proposed variance. Public Utility Companies (Bell and Rogers) also had no concerns, and NB Power indicated that, given the limited area available, they can allow the absence of a 5.0 m-wide Public Utility Easement on this lot. / *Le lot visé a accès au réseau d'égout public. La Commission d'égout de Shediac et Banlieues a été contactée et n'a soulevé aucune objection à la dérogation proposée. Les compagnies de services publics (Bell et Rogers) n'ont également exprimé aucune préoccupation, et Énergie NB a indiqué que, compte tenu de la superficie limitée disponible, l'absence d'une servitude de services publics de 5,0m de largeur peut être acceptée sur ce lot.*

Furthermore, Joline Street has minimal traffic, having only four existing lots occupied by dwellings or seasonal cottages accessed through the same portion of the private street. It also leads to a watercourse and a provincially significant wetland becoming practically a dead end. / *De plus, la rue Joline connaît une circulation minimale, desservant seulement quatre lots existants occupés par des habitations ou des chalets saisonniers, accessibles par la même portion de la rue privée. La rue mène également à un cours d'eau et à un milieu humide d'importance provinciale, devenant pratiquement un cul-de-sac.*

For these reasons, staff is of the opinion that the variance respects the general intent of the Regional Town of Cap-Acadie By-law No. CA-18. / *Pour ces raisons, le personnel est d'avis que la dérogation respecte l'intention générale du règlement no CA-18 de la Ville régionale de Cap-Acadie.*

Is it reasonable? / *Est-ce raisonnable?*

While a reduction from 4.5m to 1m is generally considered significant, given the specific context of the lot having a restricted developable area outside the Provincially Significant Wetland and its location on 20m wide private street with minimal traffic, staff is of the opinion that the variance is reasonable. / *Bien qu'une réduction de 4,5m à 1m soit généralement considérée comme importante, compte tenu du contexte particulier du lot, soit une superficie constructible restreinte à l'extérieur du milieu humide d'importance provinciale et sa localisation le long d'une rue privée de 20m de largeur avec une circulation minimale, le personnel est d'avis que la dérogation est raisonnable.*

Staff also consulted with the building inspection staff, who advised that the building must meet spatial separation requirements. These requirements will be verified during the building permit review process. / *Le personnel a également consulté le service d'inspection des bâtiments, lequel a indiqué que le bâtiment devra respecter les exigences de séparation spatiale. Ces exigences seront vérifiées lors du processus d'examen du permis de construction.*

Is it desirable for the development of the property? / *Est-ce souhaitable pour l'aménagement de la propriété?*

The proposed variance allows for the development of a single-unit dwelling on an existing vacant lot while avoiding encroaching into a Provincially Significant Wetland. / *La dérogation proposée permet l'aménagement d'une habitation unifamiliale sur un lot vacant existant tout en évitant tout empiètement dans un milieu humide d'importance provinciale.*

Furthermore, Joline Street has an approximate width of 20 m (66 ft), as shown on Registered Subdivision Plan No. 7549 (1972), providing sufficient space to upgrade the private street to a public street without acquiring land from the existing lots, thereby preserving the possibility for a street upgrade despite the reduced front yard setback. / *De plus, la rue Joline a une largeur approximative de 20m (66 pi), tel qu'indiqué au plan de lotissement enregistré no 7549 (1972), ce qui offre suffisamment d'espace pour permettre la conversion éventuelle de la rue privée en rue publique sans nécessiter l'acquisition de terrains supplémentaires auprès des lots existants, préservant ainsi cette possibilité malgré la réduction du retrait de la cour avant.*

It is to be noted that while ensuring proper width for the possibility of upgrading the private street to a public street is good practice, extending the municipal road network within a sea level rise zone and an environmentally sensitive area may not be advisable. / *Il est à noter que, bien que le fait d'assurer une largeur adéquate pour la possibilité de convertir une rue privée en rue publique constitue une bonne pratique, l'extension du réseau routier municipal dans une zone de hausse du niveau de la mer et dans un secteur écologiquement sensible pourrait ne pas être recommandée.*

Public Notice / Avis public

Public Notice has been circulated to neighbouring landowners within 100 meters of the property on January 14, 2026. / *Un avis public a été envoyé aux propriétaires fonciers à l'intérieur de 100 mètres de la propriété le 14 janvier 2026.*

Legal Authority / Autorité légale

Community Planning Act / *Loi sur l'urbanisme*

Making of zoning by-law / Prise de l'arrêté de zonage

53(2) For greater certainty and without limiting sub- section (1), a zoning by-law shall divide the municipality into zones, prescribe the purposes for which land, buildings and structures in a zone may be used and prohibit the use of land, buildings and structures for any other purpose, and may / *53(2) Pour plus de certitude et sans que soit limitée la portée du paragraphe (1), l'arrêté de zonage répartit la municipalité en zones, prescrit les fins auxquelles les terrains, les bâtiments et les constructions dans une zone peuvent être affectés et interdit toute autre affectation des terrains, des bâtiments et des constructions et peut :*

(a) with respect to a zone, regulate / *a) réglementer pour toute zone*

(v) the placement, location and arrangement of buildings and structures, including their setting back from the boundaries of streets and other public areas, and from rivers, streams or other bodies of water, / *(v) l'implantation, l'emplacement et la disposition des bâtiments et des constructions, y compris leur édification en retrait des alignements de rues et des autres lieux publics ainsi que des rivières, des*

ruisseaux et des autres plans d'eau,

Variances from zoning by-law / Dérogations à l'arrêté de zonage

55(1) Subject to the terms and conditions it considers fit, the advisory committee or regional service commission may permit / *55(1) Sous réserve des modalités et des conditions qu'il juge indiquées, le comité consultatif ou la commission de services régionaux peut autoriser :*

(b) a reasonable variance from the requirements referred to in paragraph 53(2)(a) of a zoning by-law if it is of the opinion that the variance is desirable for the development of a parcel of land or a building or structure and is in keeping with the general intent of the by-law and any plan under this Act affecting the development. / *b) soit toute dérogation raisonnable aux prescriptions de l'arrêté de zonage visées à l'alinéa 53(2)a qu'il estime souhaitable pour l'aménagement d'une parcelle de terrain, d'un bâtiment ou d'une construction et qui est compatible avec l'objectif général de l'arrêté ainsi qu'avec tout plan adopté en vertu de la présente loi et touchant l'aménagement.*

Recommendation / Recommandation

Staff respectfully recommends the Southeast Planning Review and Adjustment Committee **APPROVES** the variance to reduce the required front yard from a private street from 4.5m to 1m. / *Le personnel recommande respectueusement que le Comité d'examen et d'ajustement de la planification du Sud-Est approuve la dérogation visant à réduire la cour avant requise à partir d'une rue privée de 4,5m à 1m.*

Note: This report was written in english and translated to a bilingual document. Where a conflict exists between the two languages, the language the report was written shall prevail. / **Note:** *ce rapport a été rédigé en anglais et traduit en version bilingue. En cas de conflit entre les deux langues, la langue dans laquelle le rapport a été rédigé a préséance.*

Schedules/Annexes FN# 26-0016

Location Map / Map de localisation



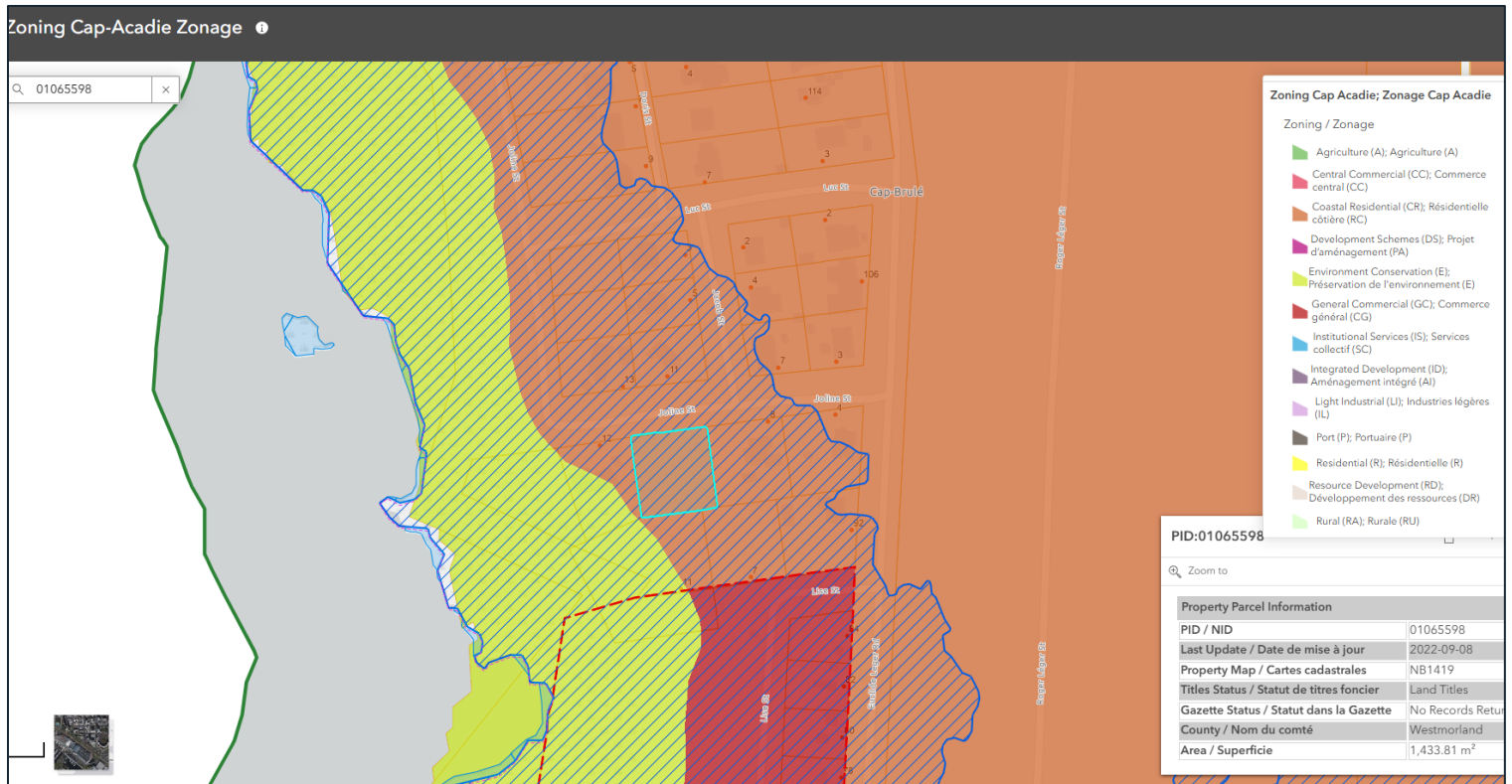
Main / Principal
 1234 rue Main Street, Suite 200
 Moncton, NB E1C 1H7
 (506) 238-5386

Shediac
 815A rue Bombardier Street
 Shediac, NB E4P 1H9
 (506) 533-3637

Tantramar
 112C rue Main Street
 Sackville, NB E4L 0C3
 (506) 364-4701

Riverview
 Operations Centre d'opérations
 300 rue Robertson Street
 Riverview, NB E1B 0T8
 (506) 382-3574

Zoning / Zonage



Coast Residential (CR) and Sea-Level-Rise (SLR) / Résidentielle Côtière (RC) et Élévation du niveau de la mer (ENM)

Main / Principal
1234 rue Main Street, Suite 200
Moncton, NB E1C 1H7
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Shediac
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Shediac, NB E4P 1H9
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Mapped Provincially Significant Wetland (GeoNB)/ Zone humide d'importance provinciale cartographiée (GeoNB)



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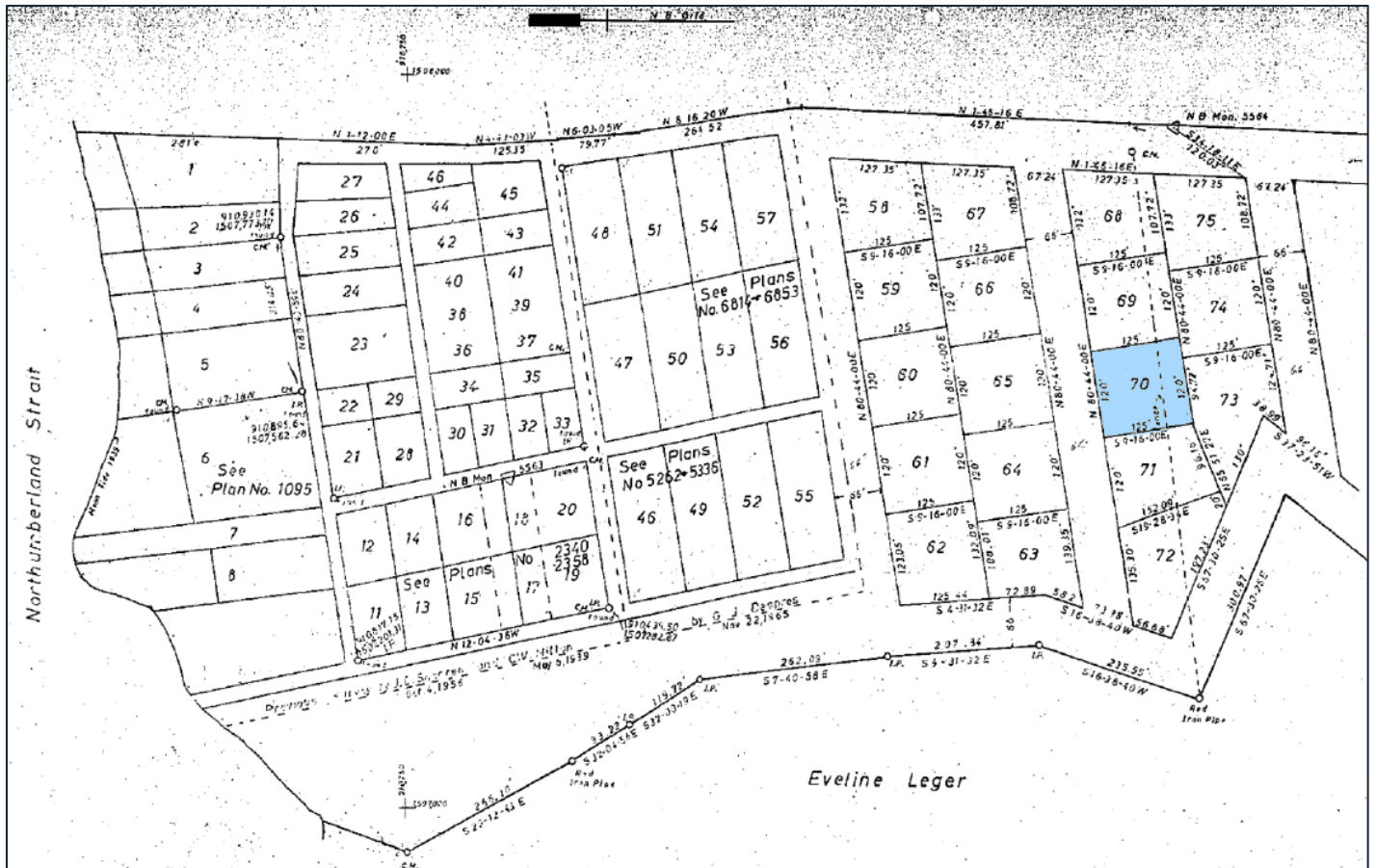
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Registered Subdivision Plan No. 7549 (1972) creating Lot 70 / Plan de lotissement no 7549 enregistré en 1972 créant le lot 70



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Riverview
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300 rue Robertson Street
Riverview, NB E1B 0T8
(506) 382-3574

Site photo / Photo du site – PID/NID 01065598 – Lot 70 shown on Subdivision Plan No. 7549 (1972) / Lot 70 sur le Plan de lotissement no 7549 (1972)



Main / Principal

1234 rue Main Street, Suite 200
Moncton, NB E1C 1H7
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(506) 364-4701

Riverview

Operations Centre d'opérations
300 rue Robertson Street
Riverview, NB E1B 0T8
(506) 382-3574

Site photo / Photo du site – Joline Street (Private/Privé)



Photos taken on January 8, 2026 / Photos prise le 8 janvier 2026

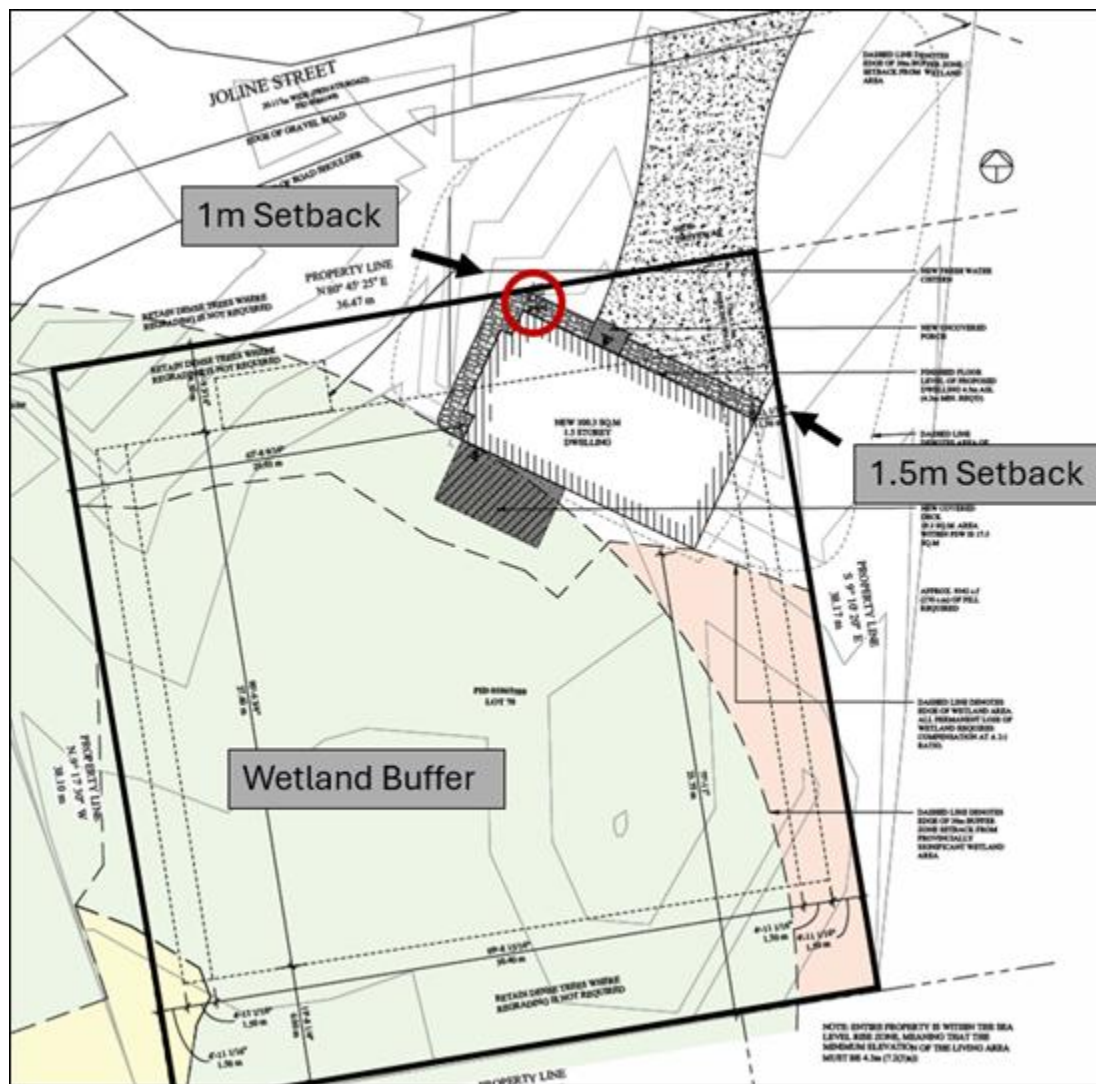
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Site Plan / Plan de site



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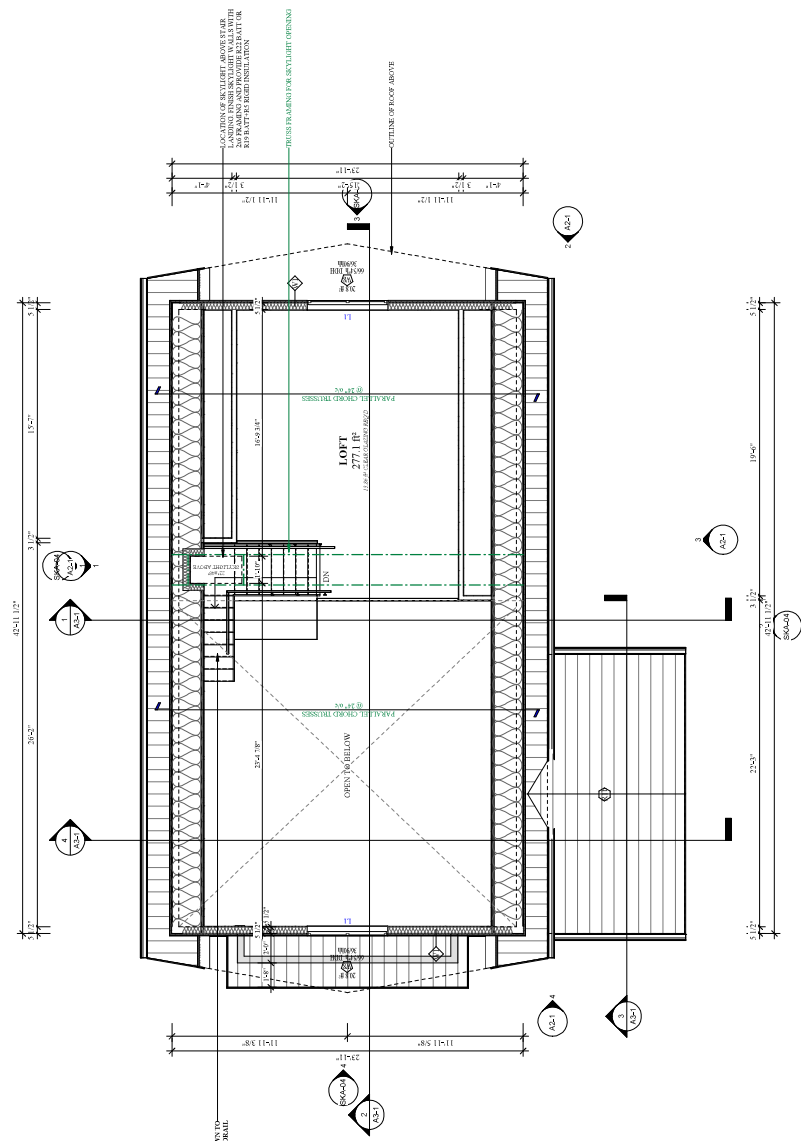
Contractor	
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Do not scale drawings. Report any discrepancies to Jordan Station Design Co. Inc. before proceeding. Drawings must be signed by the Licensed Architectural Technologist prior to the use for any building permit applications and / or government approval. Drawings must be signed by the Technologist before drawings are used for any construction. All construction to be in accordance with the current Ontario Building Code & all applicable O.N. regulations. All drawings & related documents remain the property of Jordan Station Design Co. Inc. All drawings are protected under copyright and under contract.



info@jordanstationdesignco.ca

Custom Cottage JoIne Street, Lot 70, Beaubassin East. New Brunswick E4P 6M5	
SECOND FLOOR PLAN	
Project number	24054 S
Date	Issue Date
Drawn by	Author
Designed by	JSD
A1-3	
Scale	1/4" = 1'-0"



1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

① SECOND FLOOR
Scale: 1/4" = 1'-0"

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Contrato	
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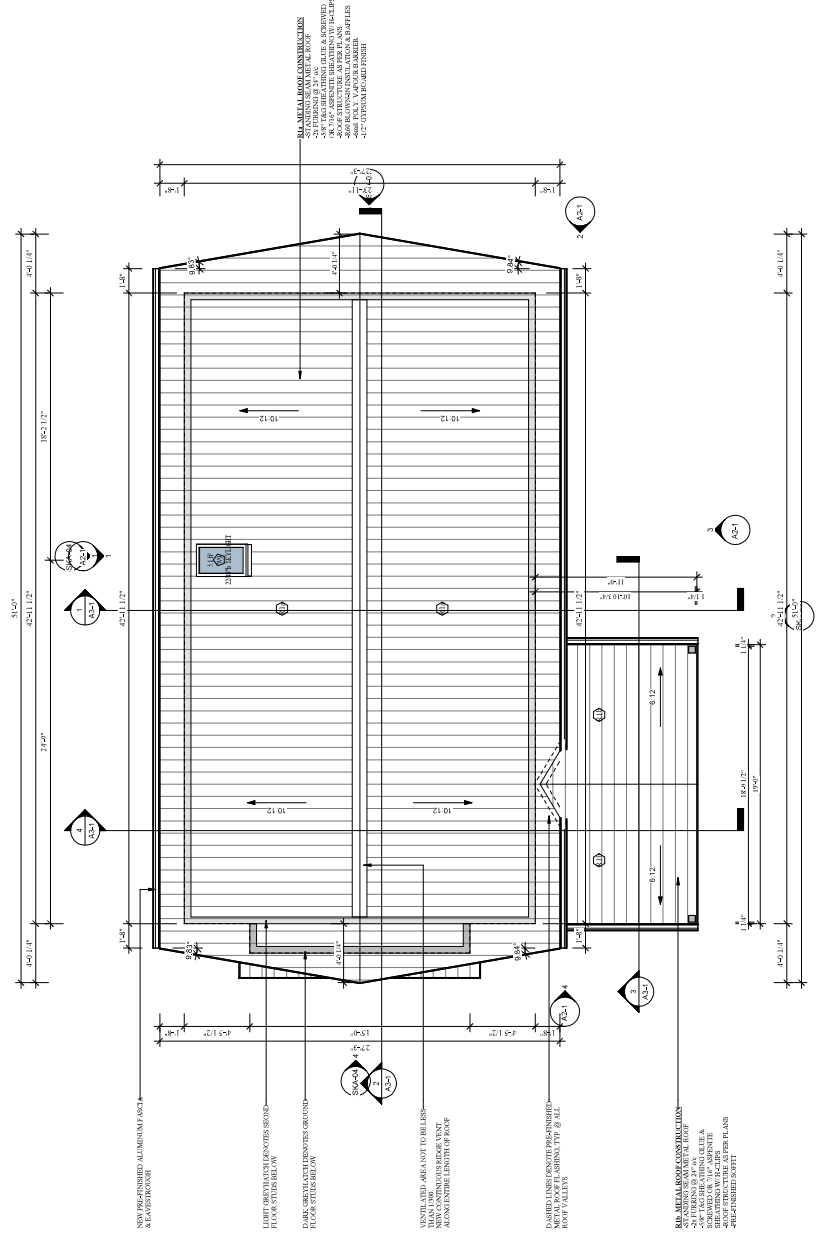
Engineer



info@jordanstationdesignco.ca

Custom Cottage John Street, Lot 70, Beaubassin East, New Brunswick E4P 6M5	
ROOF PLAN	
Project number	24054 S
Date	Issue Date
Drawn by	Author
Designed by	Checker

Scale



① ROOF PLAN
Scale: 1/4" = 1'-0"

GENERAL LEGEND:

	EXHAUST VENT TO EXTERIOR		LOAD BEARING WALL
	LIGHT FIXTURE (CEILING MOUNTED)		EXISTING WALL TO BE REMOVED
	LIGHT FIXTURE (WALL MOUNTED)		EXISTING WALL TO REMAIN
	LIGHT FIXTURE (PULL CHAIN)		NEW WALL CONSTRUCTION
	LIGHT FIXTURE (POT LIGHT)		TALL WALL AS NOTED ON DRAWINGS
	BEAM POCKET		FENG WALL

SMOKE ALARM
 PROVIDE 1 PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVELS.
 1 IN EACH BEDROOM NEAR HALL DOOR. DETECTORS TO BE CONNECTED TO
 AN ELECTRICAL CIRCUIT AND INTERLOCKED TO ACTIVATE ALL
 DETECTORS IF 1 CIRCUIT BATTERY BACK-UP REQUIRED. SA TO
 INCORPORATE VISUAL SIGNALING COMPONENT.

CARBON MONOXIDE ALARM
 ■ WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARMS SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE ALARMS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

RAIN WATER LEADER
LOCATION OF RAIN WATER LEADER TO TERMINATE AT SPLASH PAD IN STORM WATER DRAIN. RULE OF THUMB DOWNSPOUT SIZING 18QIN=100SQFT R.O.T.

LUMBER

L1	2" x 8" SPF #2
L2	2" x 10" SPF #2
L3	2" x 12" SPF #2

LVL (GLUED LAMINATED VENEER LUMBER) LVL #1
LVL #2 CAN BE USED INTERCHANGEABLY IF THEY HAVE THE SAME
SPEC. FINISH.

POSTS
SB DENOTES NUMBER OF PLIES (WOOD STUDS, SPF No. 1A2) TO BE DETERMINED ON SITE TO PROVIDE SOLID BLOCKING AS WIDE AS THE SUPPORTED MEMBER

C1 3 1/2" x 3 1/2" x 0.188" HSS SQUARE FIXED STEEL COLUMN c/w
6"x6"x3/8" STEEL PLATE
C2-5 DENOTES PING DESIGNED STEEL COLUMN c/w TOP &
BOTTOM STEEL PLATE, SIZE AS NOTED ON SUPPORTING
ENGINEERING REPORT
C2-4W DENOTES PING DESIGNED WOOD POST, SIZE AS NOTED ON
SUPPORTING ENGINEERING REPORT

JOISTS
AS PER FLOOR PLANS
JOISTS SPANNING MORE THAN 2.1M ARE TO HAVE BRIDGING AT MINIMUM
EVERY 2.1M
PROVIDE 1 1/2" OF SOLID BEARING FOR JOISTS UNLESS NOTED OTHERWISE.

BEAMS:
 STEEL: PERMANENT CALCULATION CHART
 PROVIDES 3/4" OF SOLID BEAMING FOR BEAMS UNLESS NOTED OTHERWISE

STRUCTURAL NOTES:
 ALL MEMBERS NOTED AS "P.ENG." "P.ENG. DESIGNED" AND NOTED IN RED
 TO BE READ WITH SUPPORTING ENGINEERING REPORT, UNLESS NOTED
 OTHERWISE

 STRUCTURAL ITEMS BY JSDCo.
 STRUCTURAL ITEMS BY (STRUCTURAL ENGINEER)

FLOOR / TRUSS DESIGN ITEMS (BY FLOOR / TRUSS DESIGNER)

WALL / FLOOR / ROOF LEGEND:
 -ALL WALLS / FLOOR / ROOF NOTED ON PLANS.
 -SOUND INSULATION, AS SHOWN ON DRAWINGS.

PI INTERIOR PARTITION WALL
 -1/2" GYPSUM BOARD FINISH
 -2x4 WOOD STUDS @ 16" o/c
 -1/2" GYPSUM BOARD FINISH

FI FOUNDATION WALL (20MPa)
-DRAINAGE LAYER & SPRAY-APPLIED DAMPROOFING MEMBRANE (HEATING SPACE ONLY)
-CONCRETE FOUNDATION WALL (THICKNESS AS PER PLANS) c/w 20° (W) x 6" (D)

FOOTING 4" BELLOW GRADE ON UNDISTURBED SOIL
-MOISTURE PROTECTION LAYER
-R200 ROLL WRAP INSULATION
-24 STUDS @ 24" o/c W/ VAPOUR BARRIER
-SEE CIVIL/STRUCT. DRAWING FOR DETAILS

F2 SKIRT WALL
PARING ON CEMENT BOARD
WOOD FRAMING AS REQ'D (NOT DESIGNED TO SUPPORT BACKFILL)

W1 SIDING EXTERIOR WALL
-EXTERIOR SIDING AS PER ELEV.
-AIR BARRIER
-1" (R5) RIGID INSULATION

- 7/16" OSB SHEATHING
- 2x6 SFF NO.1 OR 2 WOOD STUD @ 16" o/c
- R19 BATT INSULATION
- 6 mil POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD FINISH

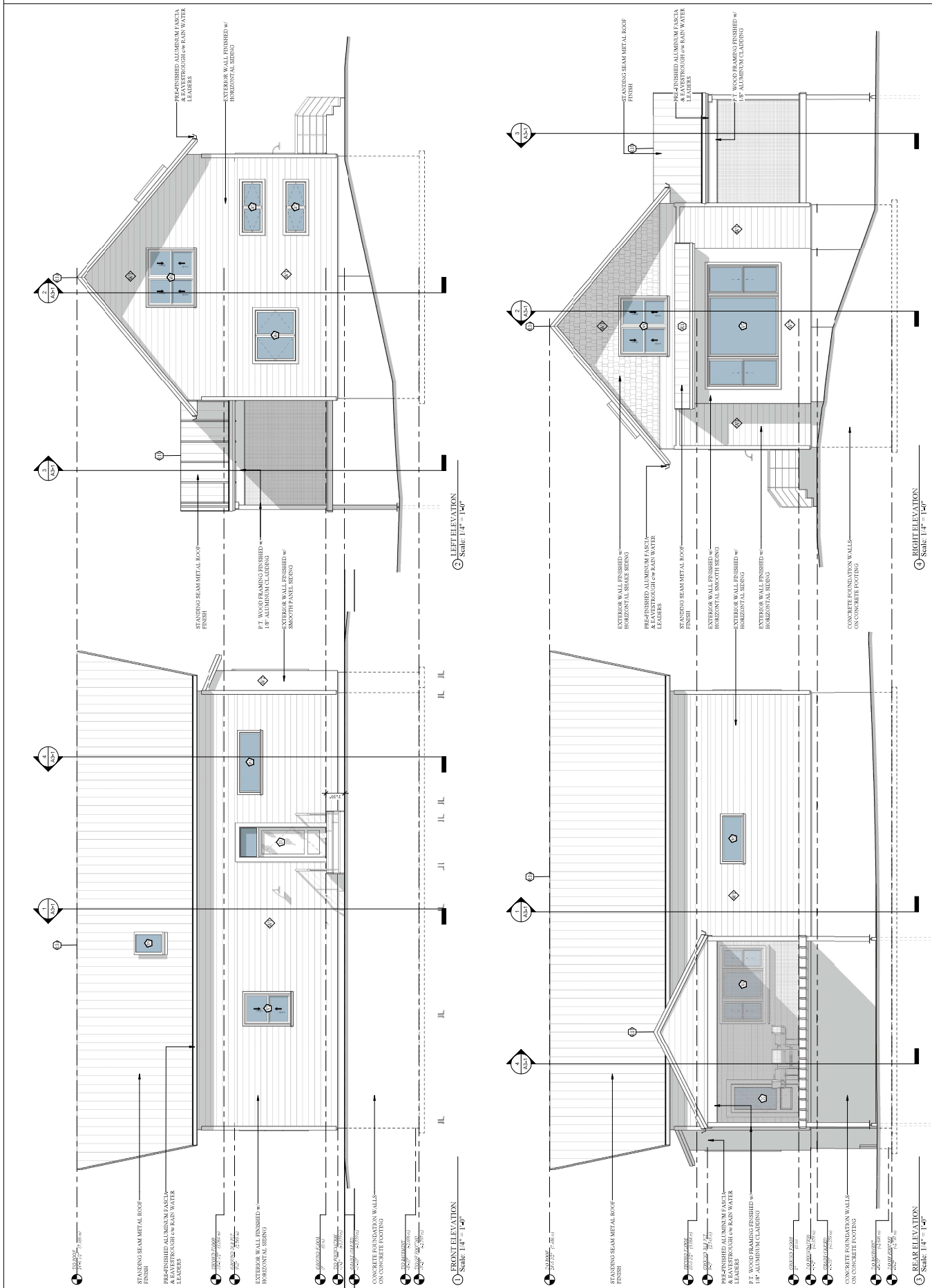
S1 BASEMENT SLAB CONSTRUCTION
 4" POURED CONCRETE FLOOR (25MPa)
 6" COMPACTED GRANULAR 'A' FILL

1.1 FLOOR CONSTRUCTION
 -FLOOR FINISH T.B.D
 -3/4" OSB FLOOR SHEATHING
 -FLOOR STRUCTURE AS PER FLOOR PLANS
 -1/2" GYPSUM BOARD (IN FINISHED SPACES)

F2 DECK CONSTRUCTION
5/8"x6" COMPOSITE DECK BOARDS BLIND FASTENED AT EACH JOIST
FLOOR JOISTS AS PER PLANS (PRESSURE TREATED IF NO SOFFIT IS
SHOWN) (A.S.P. 4/2/03)

 R12R14 METAL ROOF CONSTRUCTION
-STANDING SEAM METAL ROOF
-OPTIONAL SOFFIT FINISH
INSTALLED)

- 5/8" TAG SHEATHING GLUE & SCREWED OR 7/16" ASPENITE SHEATHING WITH CLIPS
- ROOF STRUCTURE AS PER PLANS
- 2" R60 BLOWN IN INSULATION & RAFFLES
- 2" 5mm POLY VAPOR BARRIER
- 4 1/2" GYPSUM BOARD FINISH
- 0" FRG-FINISHED SOFFIT





**PERMIT FOR WATERCOURSE AND WETLAND ALTERATION
ALT 86196'25 Original**

(Regulations 90-80 under the Clean Water Act Chapter C-6.1, Act of New Brunswick 1989)

PERMITTEE Jordan Station Design Co. Inc.

LOCATIONS

Latitude	Longitude	Datum		Latitude	Longitude	Datum
46.235	-64.4933	WGS 84	To			
Affected Watercourse/Tributary: Unnamed / Northumberland Strait;						
Affected Regions: ENV - 3 DNR - 2						
1:50.000 Maps - 21 I/01 County - Westmorland Parish - Shediac						

PERMIT VALID FOR THIS PERIOD FROM 2025/12/10 TO 2030/09/30
(yyyy/mm/dd) (yyyy/mm/dd)

Description of Watercourse/Wetland Alteration(s):

This project consists of vegetation cutting and soil disturbance related to the following alterations:

- 1) The construction of a 100 square metre dwelling,
- 2) The installation of a driveway and culvert,
- 3) Grading, infilling and landscaping within 30 metres of a wetland, and
- 4) The construction of a 19.3 square metre deck on posts, and
- 3) The installation of a freshwater cistern within 30 metres of a Provincially Significant Wetland.

No alterations shall take place within 20 metres of a Provincially Significant Wetland or within a wetland. This project shall occur on PID 1065598, as per the plans submitted to the Department on December 9th, 2025.

The Permittee may undertake only those Watercourse/Wetland Alteration(s) described above hereby approved by the Minister. Refer to Conditions of Approval stated on the attached Document "A". Responsibility for any action arising from any watercourse/wetland alteration must be borne by the Permittee and no liability shall be incurred by the Minister or the Department. This permit does not exempt or exclude the Permittee from the provisions of any Act of the Legislature of New Brunswick or of Canada to serve as legal defense to any action commenced by landowners who are adversely affected by the alteration.

Number of conditions attached to this permit: 22

Date of Issuance: 2025/12/10
(yyyy/mm/dd)

for the Minister of Environment and Climate Change

Jordan Station Design Co. Inc.

**DOCUMENT "A" Attached to ALT 86196'25 Original
CONDITIONS OF APPROVAL**

(Regulations 90-80 under the Clean Water Act Chapter C-6.1, Act of New Brunswick 1989)

- (1) The permittee shall obtain permission from all landowners listed on the property where the alteration is to take place before commencement of the work.
- (2) Other than the alteration(s) described on this permit, no additional alteration shall be carried out in or within 30 metres of a wetland or the shoulder of the bank of a watercourse. Should the scope of project change following the issuance of this permit, please contact wawa@gnb.ca or 506-457-4850 to discuss if a revision is required.
- (3) A copy (digital or paper) of this permit, including the "Conditions of Approval", shall be kept at the alteration site throughout the duration of the project. A copy shall be produced upon the request of an inspector designated to act on behalf of the Minister of Environment and Climate Change, or an employee of Fisheries and Oceans Canada.
- (4) The Department of Environment and Local Government – Moncton Office (elg.egl-region3@gnb.ca or 506-856-2374) shall be notified at least 2 working days prior to commencing work under this permit, and anytime an authorized activity resumes after a period of inactivity throughout the validity of the permit.
- (5) When machinery or mechanized equipment is being used, an appropriate emergency spill kit shall be kept on-site and be readily deployable. Any spill, regardless of quantity, must be reported by contacting the Department of Environment and Local Government during business hours or the National Environmental Emergencies Center (1-800-565-1633) after hours.
- (6) Equipment/machinery used shall be clean, in good working order, and must not be leaking any fuel, lubricants, or hydraulic fluid.
- (7) All materials and machinery used shall be operated and stored/parked in a manner that prevents any deleterious substance (e.g., petroleum products, silt, etc.) from entering a watercourse/wetland and to avoid the spread of invasive plant species.
- (8) Machinery used shall be located outside of the wetland and the wetted portion of the watercourse.
- (9) Preventative measures shall be taken to prevent demolition debris, spoil, and excavated material generated by the project from entering a watercourse/wetland. Excavated materials, as well as any material that inadvertently falls into the water/wetland, shall be disposed of where they cannot be washed into a watercourse/wetland by floodwaters or overland runoff events. Any debris or spoil generated from the project and all excess materials not used in the project shall be entirely collected and disposed of outside a regulated area, in a manner acceptable to the Department of Environment and Local Government.
- (10) If the alterations associated with this permit are not commenced within 2 years from the issuance date, this permit will not be eligible for renewal. If a project renewal is required following this timeframe, a new permit application must be made, and the project will be reviewed with the guidelines and policies applicable at the time of the new application.
- (11) The project shall be carried out in accordance with the most recent plans submitted to the Department on December 8th, 2025, except if stipulated otherwise in these "Conditions of Approval".
- (12) Siltation prevention devices shall be installed prior to exposing erodible soil and added wherever necessary to prevent sedimentation. If a siltation prevention device is compromised or is not functioning properly, no further work shall take place until the issue is corrected. These devices shall be maintained such that they perform their intended function until vegetation becomes re-established.
- (13) Additional siltation prevention devices shall be on site and readily deployable in the event of sudden/heavy precipitation or a runoff event.
- (14) The project shall not commence until the ground is thawed sufficiently to facilitate the proper installation of siltation prevention devices.
- (15) No alterations shall take place within a wetland or within the Provincially Significant Wetland.

**DOCUMENT "A" Attached to ALT 86196'25 Original
CONDITIONS OF APPROVAL**

(Regulations 90-80 under the Clean Water Act Chapter C-6.1, Act of New Brunswick 1989)

- (16) There shall be no permanent impacts to a wetland to fulfill this project.
- (17) At the first evidence of machinery causing ruts within 30 metres of a wetland or the shoulder of the bank of a watercourse, the machinery shall not advance any further and the ruts shall be immediately smooth graded and blanketed with mulch or slash.
- (18) No fill, spoil, or excavated material shall be stored or placed in a wetland or a Provincially Significant Wetland at any time to fulfill the project.
- (19) Fill material added within 30 metres of a wetland or the shoulder of the bank of a watercourse shall be free of contaminants.
- (20) Throughout the project, all exposed erodible soil within 30 metres of a wetland or the shoulder of the bank of a watercourse created by machinery or resulting from the project activities, shall be temporarily stabilized with mulch, erosion control blankets, or other products designed to prevent erosion and the runoff of suspended sediment into a watercourse/wetland, prior to each forecasted rain event.
- (21) Upon project completion, all exposed soil within 30 metres of a wetland or the shoulder of the bank of a watercourse created by machinery or resulting from the project activities, shall be permanently stabilized with perennial vegetation native to the area and blanketed with mulch or an engineered erosion prevention product designed to prevent the generation of suspended sediment due to rain or overland runoff events. If the project is completed during a time of year when vegetation cannot be re-established (i.e., outside of the growing season), temporary stabilization shall be upgraded to perform its function throughout winter and snowmelt/spring break-up conditions. Wherever temporary over-winter stabilization is used, it shall be replaced with non-invasive perennial vegetation native to the area early in the next growing season.
- (22) Once permanent stabilization has been achieved, all non-biodegradable siltation prevention devices used during the project shall be removed and properly disposed of.

Patrick Gaudet

From: Stéphane Dallaire <stephane.dallaire@capacadie.ca>
Sent: January 14, 2026 5:35 PM
To: Patrick Gaudet; Matt Labelle
Cc: Jeff Boudreau; Phil Robichaud
Subject: RE: 24054 - Joline Street - Variance Adjustment

ATTENTION! External email / courriel externe

Hi Patrick,

Thank you for the clarification. Cap-Acadie is ok with the proposed 1m setback.

Have a great day!

Stéphane Dallaire, MBA
Directeur général / Chief Administrative Officer

CAPACADIE.CA • 506.577.2036



Toute correspondance avec élus, les employés ou autres agents de la Ville régionale de Cap-Acadie pourrait être dévoilée au public en vertu de la Loi sur le droit à l'information et la protection de la vie privée.
Any correspondence with elected officials, employees, or other agents from the Ville régionale of Cap-Acadie may be subject to disclosure under the provisions of the Right to Information and Protection of Privacy Act.

From: Patrick Gaudet <patrick.gaudet@nbse.ca>
Sent: Wednesday, January 14, 2026 10:18 AM
To: Stéphane Dallaire <stephane.dallaire@capacadie.ca>; Matt Labelle <matt.labelle@capacadie.ca>
Cc: Jeff Boudreau <Jeff.boudreau@nbse.ca>; Phil Robichaud <phil.robichaud@nbse.ca>
Subject: RE: 24054 - Joline Street - Variance Adjustment

Hi Stéphane,

Based on the registered Subdivision Plan 7549 creating the lot in question in 1972, the width of the private street fronting the lot is approximately 66' (20m).

From: Stéphane Dallaire <stephane.dallaire@capacadie.ca>
Sent: January 13, 2026 6:51 PM
To: Patrick Gaudet <patrick.gaudet@nbse.ca>; Matt Labelle <matt.labelle@capacadie.ca>
Cc: Jeff Boudreau <Jeff.boudreau@nbse.ca>; Phil Robichaud <phil.robichaud@nbse.ca>
Subject: RE: 24054 - Joline Street - Variance Adjustment

ATTENTION! External email / courriel externe

Hi Patrick,

Sorry for the delay of response. Just got back from vacation yesterday. I know it's a private street but do you know how wide the street is registered?

My question is related that if ever that private street would become a public street, is there enough space to have the minimum requirements if we accept the 1m setback?

Thanks!

Stéphane Dallaire, MBA
Directeur général / Chief Administrative Officer

2647, chemin Acadie Road
Cap-Pelé, NB E4N 1C2
CAPACADIE.CA • 506.577.2036



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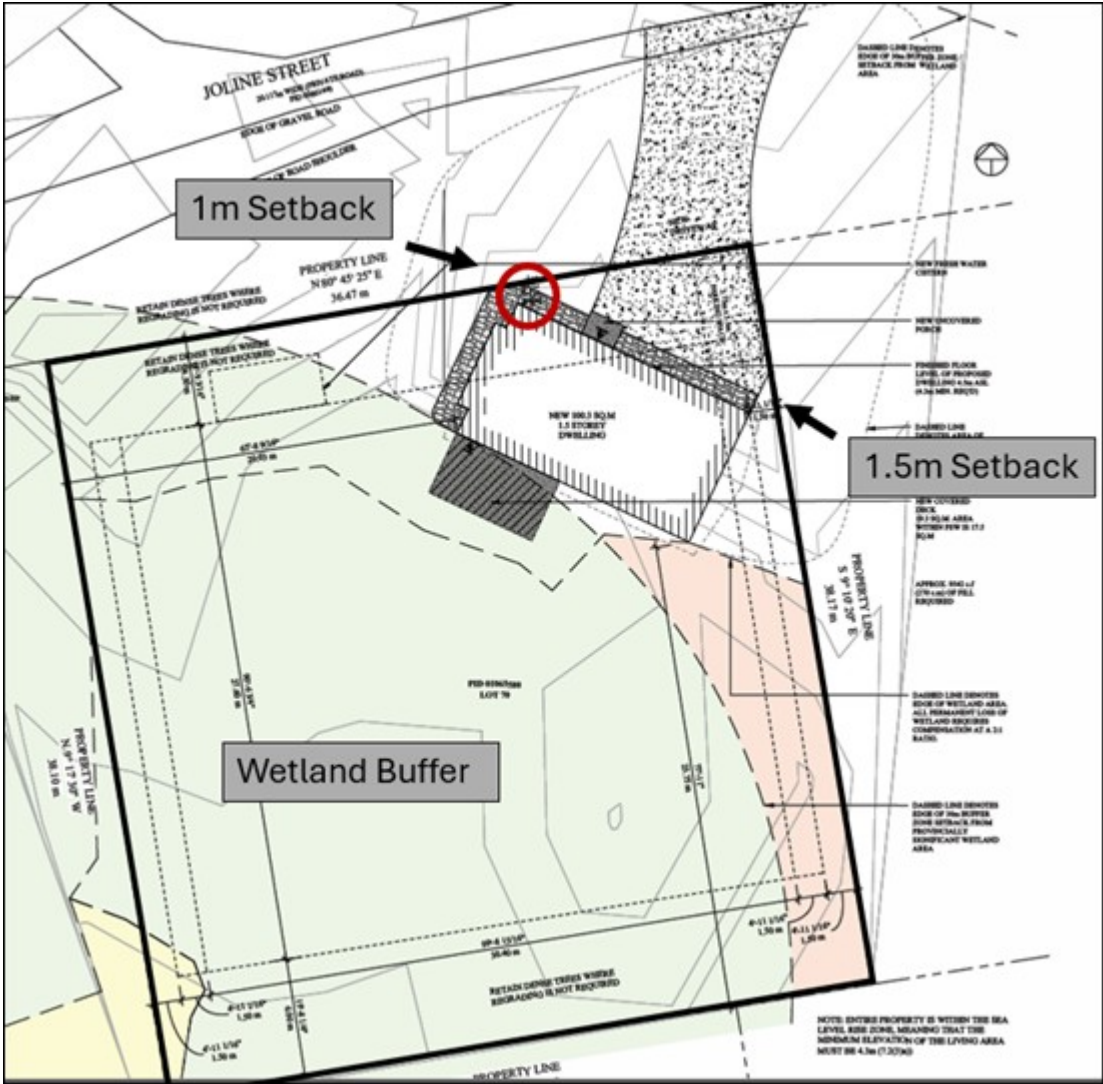
From: Patrick Gaudet <patrick.gaudet@nbse.ca>
Sent: Thursday, December 18, 2025 3:59 PM
To: Stéphane Dallaire <stephane.dallaire@capacadie.ca>; Matt Labelle <matt.labelle@capacadie.ca>
Cc: Jeff Boudreau <Jeff.boudreau@nbse.ca>; Phil Robichaud <phil.robichaud@nbse.ca>
Subject: FW: 24054 - Joline Street - Variance Adjustment

Hi Stéphane,

We've received a variance request to reduce the required setback of a single-unit dwelling from a private street from **4.5m to 1m**.

The property is known as **PID 01065598** and is located between civics 8 Joline and 12 Joline in Boudreau-West.

The applicant's reasoning for this inquiry is that the majority of the lot is covered by the provincially significant wetland buffer. To avoid placing the dwelling in the buffer, the dwelling is proposed at an angle and moved closer to Joline Street.



You can also find in the attachments the dwelling drawings, including the site plan, and the WAWA permit provided by the applicant.

Before proceeding with this application, we would like to know if Cap-Acadie has any comments or concerns.

Please let me know if you require further information for your review.

Thanks!

Patrick Gaudet he/him/il/lui
Plan360
Southeast RSC | CSR Sud-Est
patrick.gaudet@nbse.ca
T : (506) 533-3637 D : (506) 382-5796
815A rue Bombardier Street, Shediac, NB E4P 1H9

From: Sabrina Mable <sabrina@jordanstationdesignco.ca>
Sent: December 17, 2025 4:11 PM
To: Patrick Gaudet <patrick.gaudet@nbse.ca>
Cc: Lee Curtis <lee@jordanstationdesignco.ca>; Phil Robichaud <phil.robichaud@nbse.ca>; Jeff Boudreau <Jeff.boudreau@nbse.ca>
Subject: Re: 24054 - Joline Street - Variance Adjustment

You don't often get email from sabrina@jordanstationdesignco.ca. [Learn why this is important](#)

ATTENTION! External email / courriel externe

Hi Patrick,

Yes, that is the correct parcel.

Thank you for the correction of the front yard setback requirement. Please see the updated drawings attached.

We have already coordinated with the WAWA department and have obtained the attached development permit. Unfortunately, this is the only house placement on site that respects the wetland regulations

while maintaining desirable views and adequate parking accommodation. In effect, we are asking for a variance adjustment for the front yard setback from 4.5m to 1m.

Please let me know if you need additional information.

Thank you,

Sabrina Mable, BA Architectural Studies
Junior Architectural Designer, Jordan Station Design Co Inc.
Office: 289 668 4588 | Cell: 365 650 4124

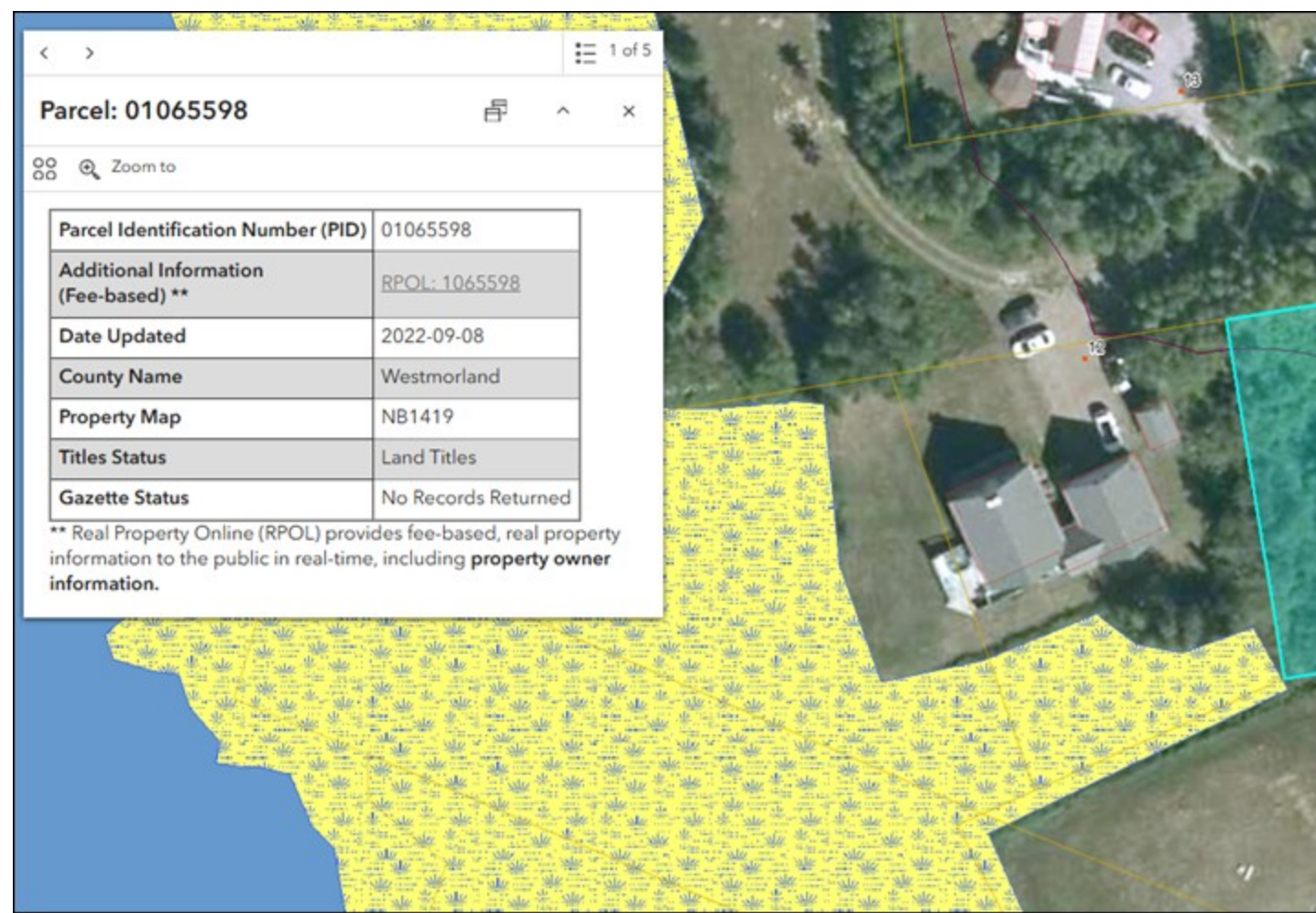
Please note: Our office will be closed for the holidays from 1:00 PM on Wednesday, December 24, 2025, and will reopen at 8:00 AM on Monday, January 5, 2026.

On Tue, Dec 16, 2025 at 2:35 PM Patrick Gaudet <patrick.gaudet@nbse.ca> wrote:

Hello Sabrina,

Apologies for de delayed response.

Can you confirm if the correct PID is 01065598 (and not 01065580)?



Since the adoption of the new Cap-Acadie Zoning By-Law, the required front setback from a private street has been reduced to 4.5m.

5.2.4 Table: Applicable standards for R and CR zones.

	R	CR
Requirements		
Required front yard or required flankage yard from a public street	7.5 m	7.5 m
Required front yard or required flankage yard from a private street	4.5 m	4.5 m
Required front yard along a high-traffic road or a collector road, except for Acadie Road	15 m	15 m
Required rear yard	6 m	6 m
Required side yard	3 m from the limit and 1.5 on the other	3 m from the limit and 1.5 on the other
Maximum building height	9 m	9 m
Maximum lot coverage	50%	35%

Would there be a possibility to re-design the placement of the dwelling to respect the 4.5m setback?

If there is a portion of the dwelling that’s encroaching within the buffer of the mapped wetland you can also verify with Environment if the wetland delineation is accurate and gather their comments.

Thanks,

Patrick Gaudet he/him/il/lui

Plan360

Southeast RSC | CSR Sud-Est

patrick.gaudet@nbse.ca

T : (506) 533-3637 D : (506) 382-5796

815A rue Bombardier Street, Shediac, NB E4P 1H9

From: Sabrina Mable <sabrina@jordanstationdesignco.ca>
Sent: December 10, 2025 9:39 AM
To: NBSE Information <information@nbse.ca>
Cc: Lee Curtis <lee@jordanstationdesignco.ca>
Subject: Re: 24054 - Joline Street - Variance Adjustment

Some people who received this message don't often get email from sabrina@jordanstationdesignco.ca. [Learn why this is important](#)

ATTENTION! External email / courriel externe

Good morning,

I am following up on my previous submission for a variance adjustment application for a proposed new dwelling on a vacant lot on Joline Street in Beaubassin East (PID 01065580). Please see my previous email for application details. Please confirm receipt of this application and let me know if there are any next steps required on my part.

Thank you,

Sabrina Mable, BA Architectural Studies
Junior Architectural Designer, Jordan Station Design Co Inc.

Office: 289 668 4588 | Cell: 365 650 4124

Please note: Our office will be closed for the holidays from 1:00 PM on Wednesday, December 24, 2025, and will reopen at 8:00 AM on Monday, January 5, 2026.

On Fri, Nov 28, 2025 at 3:55 PM Sabrina Mable <sabrina@jordanstationdesignco.ca> wrote:

Good afternoon,

Please accept the attached site plan and architectural drawings along with the following explanation as an application for a variance adjustment for the proposed new dwelling on lot PID 01065580 on Joline Street in Beaubassin East.

The purpose for the variance adjustment is for a reduction in the required front yard setback. The property is within the Coastal Residential zone and is required to have a minimum front yard setback of 7.5m. However, we are requesting that a front yard setback of 1m be permitted.

The reason for this variance adjustment is to accommodate the construction of a new 100.3 sq.m 1.5 storey dwelling on this property. The existing property is currently vacant and contains both wetland and provincially significant wetland (PSW) areas. The majority of the site is within the 30m PSW buffer area. As a result, we are required to obtain a WAWA permit. In order to meet the WAWA development requirements, we must construct on the area of the property outside of the 30m PSW buffer area. However, the only way the proposed dwelling will fit on the site is to be located closer to the front property line than the permitted setback.

Since the property is located at a distance from Joline Street and is not immediately adjacent to the road, we believe this proposal for a reduction in the front yard setback to be reasonable. We also believe the proposed dwelling is desirable for the development of the property and is consistent with the rural plan. We have taken measures to ensure the proposed construction conserves the existing wetland areas in order to preserve the environmental features of the property, while also utilizing an otherwise vacant site for residential housing.

Please let me know if anything else is required to complete this application.

Thank you,

Sabrina Mable, BA Architectural Studies
Junior Architectural Designer, Jordan Station Design Co Inc.

Office: 289 668 4588 | Cell: 365 650 4124
sabrina@jordanstationdesignco.ca
www.jordanstationdesignco.ca
3836 Main Street Unit 2-2/3, Jordan ON



[Click for Review](#)

Any correspondence with or among employees, agents, or elected officials representing the Southeast Regional Service Commission may be subject to disclosure under the provisions of the Right to Information and Protection of Privacy Act, S.N.B. 2009, c. R-10.6.

Toute correspondance entre ou avec des employés, des agents ou des représentants élus de la Commission de services régionaux du Sud-Est peut faire l'objet d'une divulgation en vertu des dispositions de la Loi sur le droit à l'information et la protection de la vie privée, L.N.-B. 2009, ch. R-10.6.

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