

Southeast Planning Review and Adjustment Committee /
Comité de révision de la planification de la Commission du Sud-Est

Staff Report / Rapport du personnel

Subject / Objet : Recommandation pour l'emplacement d'une rue publique / Recommendation

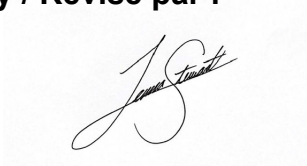
File number / Numéro du fichier 26-0900

From / De :

Reviewed by / Révisé par :



Sophie Daigle
Development Officer / Agent d'aménagement



Jenna Stewart
Planner / Urbaniste

General Information / Information générale

Applicant / Requérant :

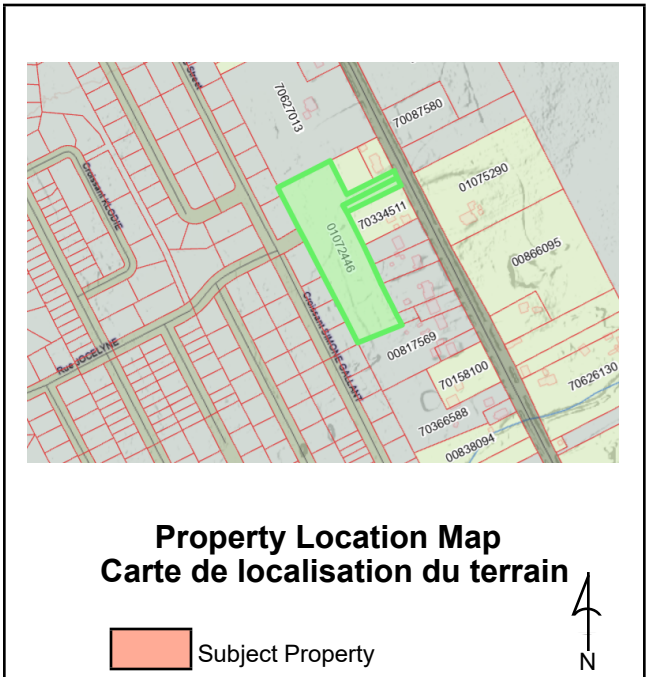
JRD Engineering Ltd. / BDL Quality Homes Ltd.

Landowner / Propriétaire :

Proposal / Demande :

Recommandation au Conseil pour l'emplacement de
l'extension de la rue publique Jocelyne. /

*Recommendation to Council for the location of the
extension of the public street Jocelyne Street.*



Site Information / Information du site

PID / NID: 01072446, 70323068

Lot Size / Grandeur du lot: Superficie de la rue publique: 2 602 m2, superficie totale des lots: 12 004

Location / Endroit :

Ville de/Town of Shediac

Current Use / Usage présent :

Vacant

Zoning / Zonage :

R3

Future Land Use / Usage futur :

Résidentiel, rue publique / *residential, public street*

Surrounding Use & Zoning / Usage des environs & Zonage :

Habitation uni et multi familiales / *Single and multi-unit residential*

Municipal Servicing / Services municipaux:

Eau et égouts / *water and sewer*

Access-Egress / Accès/Sortie : rue Jocelyne Street , Bellevue Heights

Policies / Politiques

Plan Municipal de Shediac / *Shediac Municipal Plan*

Principes relatifs aux réseaux de transport routier et alternatif ainsi qu'aux équipements communautaires / *Policies related to road transport and alternative methods of transportation, as well as public utilities/facilities*

1. Le Conseil a pour principe l'amélioration du réseau routier dans son ensemble pour les utilisateurs tels que les piétons, les bicyclettes, et les véhicules à moteur. / *Council's policy is to improve the entire road network for users such as pedestrians, bicycles, and motor vehicles*

11. La Carte des rues et rues futures (Annexe-B) sera utilisé pendant le processus d'examen des lotissements et des aménagements pour orienter l'approbation du tracé des nouvelles rues dans la ville et pour assurer l'emplacement des rues futures / *The Map of Streets and Future Streets (Schedule-B) shall be referred to during the subdivision and development review process to guide the approval of new road locations in the town and to safeguard the location of future roads.*

Zoning and/or Subdivision Regulation / Réglementations de zonage et/ou de lotissement

Arrêté de lotissement / *Subdivision By-Law*

3. Rues et services / *Streets and Services*

3.01 Les Lots, rues et services de tout lotissement seront aménagés conformément aux normes de lotissement de la Ville de Shediac telles qu'établis dans le Devis normalisé et le document de Procédures, normes et lignes directrices de lotissement. / *In a subdivision, all lots, streets and services shall be laid out in accordance with the Town of Shediac Standard Municipal Specifications and the Subdivision Development Procedures, Standards and Guidelines, latest editions.*

4) Avant de faire une recommandation relative à l'emplacement des rues dans un lotissement, la commission doit / *In making a decision regarding a recommendation with respect to the location of streets in a subdivision, the Commission shall give consideration to the relationship between such location and*

a) tenir compte de la topographie du terrain à lotir; / *the topography of the land;*

b) veiller à la création de lots qui puissent servir à la destination qui leur est attribuée; / *the provision of lots suitable for the intended use;*

c) s'assurer que les intersections de rues sont perpendiculaires dans la mesure du possible; / *street intersections and interceptions being as nearly as possible at right angles;*

d) prendre les mesures nécessaires pour assurer un accès aisé au lotissement et aux lots qu'il comporte; / *the provision of convenient access to the proposed subdivision and to lots within it; and,*

e) prendre les mesures nécessaires pour rendre aisé le lotissement ultérieur du terrain visé par le projet de lotissement ou des terrains attenants. / *the convenient further subdividing of the land or adjoining land.*

6. Terrain d'utilité publique / *Land for Public Purpose*

6.01 Pour qu'un plan de lotissement soit approuvé, dix (10%) pour cent de la superficie du lotissement, à l'exclusion des terrains devant être dévolus à titre de rues publiques, ledit emplacement devant être approuvé par le conseil conformément à l'article 56 de la Loi sur l'urbanisme, doit être mis de côté comme terrain d'utilité publique et indiqué de cette façon sur le plan de lotissement. Ceux-ci seront préparés par le promoteur conformément aux normes de lotissement de la Ville de Shediac. / *As a condition of approval of a subdivision plan, land in the amount of ten (10%) percent of the area of the subdivision exclusive of public streets, at such location as assented to by Council pursuant to Section 56 of the Community Planning Act, is to be set aside as "land for public purposes", and so indicated on the plan. Lands for public purposes shall be prepared by the developer in accordance with the Town of Shediac Development and Servicing Standards and their designated use.*

6.02 Le conseil peut exiger que la mise de côté de terrains conformément au paragraphe 6.01 soit remplacée par le versement à la municipalité d'une somme représentant huit (8%) pour cent de la valeur marchande des terrains du lotissement à la date de la présentation du plan de lotissement pour approbation, à

l'exclusion des terrains indiqués comme rues devant être publiques. / *Council may require, in lieu of land set aside under subsection 6.01, a sum of money to be paid to the municipality in the amount of eight (8%) percent of the market value of the land in the proposed subdivision at the time of submission for approval of the subdivision plan exclusive of streets intended to be publicly -owned.*

6.03 Les dispositions du présent article n'affectent aucunement la possibilité que le demandeur et la municipalité concluent un accord concernant la mise de côté de terrains et d'une somme d'argent, à condition que la valeur totale pour la municipalité ne soit pas inférieure au montant stipulé dans les paragraphes 6.01 et 6.02. / *Nothing in this section shall affect the ability of the applicant and the municipality to enter into an agreement providing for the settling aside of part land and part cash in lieu, provided that the aggregate value to the municipality shall not be less than that provided in subsection 6.01 or 6.02.*

7. Accords de lotissement / Subdivision Agreements

7.01 Dans le cas d'un lotissement qui nécessite des services, la personne qui se propose de lotir un terrain installe dans ce lotissement les services que la municipalité juge nécessaires et l'agent d'aménagement n'approuve le plan que si elle conclut avec la municipalité un accord obligeant également ses héritiers, successeurs et ayants droit à construire et à payer le coût de ces services ainsi qu'à remettre à la municipalité une lettre de crédit irrévocable ou une somme d'argent suffisante pour garantir l'exécution de l'accord. / *In any subdivision where services are required, the person proposing to subdivide shall provide within that subdivision such services as deemed required by the municipality, and the development officer shall not approve the plan unless the person proposing the subdivision enters into an agreement with the municipality that is binding upon his heirs, successors and assigns to construct and pay the cost of services required within the subdivision, and deposit a sum of money or an irrevocable letter of credit with the municipality, sufficient to guarantee the faithful performance of said agreement.*

7.02 Lorsqu'un projet de lotissement est doté de services déjà construits, par la municipalité ou par quelque autre personne, l'agent d'aménagement n'approuve le plan que si la personne qui propose de lotir le terrain paie ou accepte de payer à la municipalité ou quelque autre personne une somme égale soit au coût initial de ces services, soit à sa part proportionnelle, calculée sous forme de pourcentage du secteur qui bénéficie de ces services. / *Where any subdivision being proposed benefits from services previously constructed, whether by the municipality or another person, the development officer shall not approve the plan unless the person proposing the subdivision pays or agrees to pay to the municipality or another person an amount equal to his proportional share, calculated as a percentage of the area benefiting from said previously installed services.*

Internal Consultation & External Consultation / Consultations internes et externes

Le personnel de la Ville de Shediac a été consulté et le seul commentaire à noter était qu'ils aimeraient voir une servitude ou un droit de passage enregistré sur la portion des lots qui seront utilisés comme accès partagés. / *The Town of Shediac Staff was consulted and the only comment was that they would like to see a private easement or right of way over the portion of the lots which will be used as a shared access.*

Discussion

En juin 2026, le bureau de Plan360 a reçu un plan de lotissement provisoire de type 2, intitulé « Ronald Martin Subdivision », qui vise à créer une nouvelle section de rue publique, la rue Jocelyne, ainsi que quatre lots pour usage résidentiel à partir de terrains vacants identifiés par les numéros NID 01072446 et 70323068. Le prolongement de la rue Jocelyne établit un deuxième point de liaison entre un quartier résidentiel existant (le Domaine Beauséjour) et Bellevue Heights, l'autre étant le prolongement de la rue Breaux Bridge. Les terrains concernés sont actuellement zonés résidentielle à haute densité (R3) à la suite d'une demande de rezonage complétée en début d'année. Les terrains environnants sont zonés résidentielle à moyenne densité (R2). / *In June 2026, the Plan360 office received a type 2 tentative subdivision plan named Ronald Martin Subdivision, which aims to create a new portion of a public street, Jocelyne Street, as well as 4 lots for residential use from vacant lots known as PIDs 01072446 and 70323068. The extension of Jocelyne Street establishes a secondary connection point from an existing residential neighborhood (Domaine Beauséjour) to Bellevue Heights, the other being the extension of Breaux Bridge*

Street. The subject properties are currently zoned High Density Residential (R3) following a rezoning application that was completed in early 2026. The surrounding area's zoning remains Medium Density Residential (R2).

La nouvelle rue sera cédée à la ville de Shediac en tant que voie publique. Avant que le conseil municipal n'approuve la création d'une voie publique, le Comité de révision de la planification doit formuler une recommandation concernant l'emplacement de la rue. Conformément au règlement de la Ville de Shediac relatif au lotissement, la recommandation concernant la rue doit tenir compte de la topographie du terrain, de la possibilité d'utiliser les lots conformément à leur usage prévu, des intersections routières, de la mise en place d'un accès pratique, ainsi que de la prise en compte du lotissement futur des terrains adjacents. La recommandation porte sur l'emplacement de la rue, et non nécessairement sur les lots proposés. Les lots peuvent faire l'objet de modifications mineures ou de procédures supplémentaires. / *The new street will be vested to the Town of Shediac as a public street. Before Town Council assents to a public street, the Planning Review and Adjustment Committee is required to provide a recommendation in regard to the location of the street. Under the Town of Shediac Subdivision By-Law, the recommendation of the street should consider the topography of the land, whether the lots can be used for their intended purposes, street intersections, provision of convenient access, and the consideration for the future subdivision of adjoining land. The recommendation pertains to the location of the street, not necessarily the proposed lots. Lots may be subject to minor changes or additional processes.*

La nouvelle rue doit être construite conformément au Devis normalisé pour travaux municipaux et aux procédures, normes et lignes directrices de lotissements de la Ville de Shediac. Ces documents précisent les paramètres relatifs aux pentes maximales (qui ne doivent pas dépasser 8 %) et aux intersections (à 90 degrés). Les lots proposées sur le plan provisoire sont classées en zone résidentielle à haute densité (R3) à la suite d'une demande de rezonage, dans le cadre de laquelle la réduction de la largeur du lot 26-1002 a été approuvée. Par conséquent, les lots proposées répondent aux critères requis pour être aménagés en vue de l'usage résidentiel prévu. Comme mentionné, le nouveau segment de la rue Jocelyne sera accessible par Bellevue Heights, une rue existante desservant un quartier établi, et constituera le prolongement du secteur du Domaine Beauséjour. Ce prolongement contribue à relier les deux quartiers. / *The new street must be built in compliance with the Town of Shediac Standard Municipal Specifications and the Subdivision Development Procedures, Standards and Guidelines. These documents specify the parameters for maximum gradients (shall not exceed 8%) and intersecting streets (90 degrees). The proposed lots shown on the tentative plan are zoned High Density Residential (R3) following a rezoning application, through which the reduction of the width for lot 26-1002 was approved. Therefore, the proposed lots meet the criteria to be developed for their intended residential use. As mentioned, the new section of Jocelyne Street will be accessible through Bellevue Heights, an existing street with an established neighborhood, and it will be a continuation of the Domaine Beauséjour area. This extension helps to connect the two neighborhoods.*

Le plan de lotissement provisoire a été transmis au département d'ingénierie de la Ville de Shediac, ainsi qu'à la Commission des égouts Shediac et banlieues, pour examen. La Ville n'avait aucun commentaire, sauf l'exigence de voir enregistrer une servitude privée ou un droit de passage sur la partie commune des futures voies d'accès aux lots avant la délivrance de tout permis d'aménagement ou de construction. Le document de design de conception joint en annexe présente l'esquisse préliminaire du futur aménagement de ces lots et indique les voies d'accès communes. La GSSC n'a formulé aucune remarque. / *The tentative subdivision plan was sent to the Town of Shediac's Engineering department, as well as the Greater Shediac Sewerage Commission for their review. The Town had no comments other than the requirement to see a private easement or right-of-way registered on the shared portion of the future driveways on the lots prior to any development/building permits being issued. The design package attached in the schedules shows the preliminary sketch of future development for these lots, and show the shared driveways. The GSSC had no comments.*

Afin de satisfaire à l'obligation de contribution de terrains d'utilité publique dans le cadre de ce lotissement, la Ville a décidé d'accepter une valeur monétaire en lieu de terrains. Comme le prévoient les dispositions du règlement sur le lotissement mentionnées ci-dessus, cette valeur monétaire correspondra à 8 % de la valeur marchande des lots proposés. Le personnel de Plan360 et la Ville ont convenu que ce montant correspondrait à 46 315,44 \$. Pour cette raison, aucun LFPP n'est requis pour cette recommandation relative à la voie publique, et la somme d'argent sera approuvée par la Ville lors d'une prochaine réunion du conseil municipal. / *To fulfill the land for public purpose requirement for this subdivision, the Town*

decided to accept cash in lieu of land. As outlined in the subdivision by-law provisions above, cash in lieu of lands for public purposes will be equal to 8% of the market value of the proposed lots. It was determined between Plan360 staff and the Town that this value would be equal to 46 315.44\$. For this reason, LFPP is not required for this public street recommendation, and the amount of cash in lieu will be approved by the Town at a subsequent council meeting.

Public Notice / Avis public

n/a

Legal Authority / Autorité légale

88(1) Si le plan de lotissement d'un terrain situé dans une municipalité prévoit le tracé de rues publiques ou futures ou la mise de côté de terrains à des fins d'utilité publique, son approbation émanant de l'agent d'aménagement ne peut être accordée tant que le plan n'a pas reçu l'assentiment du conseil. / *If a subdivision plan of land in a municipality provides for the laying out of public or future streets or the setting aside of land for public purposes, approval of the plan by the development officer shall not be given until the plan has been assented to by the council.*

88(4) L'assentiment que prévoit le présent article ne peut être donné tant que n'ont pas été remplies les conditions suivantes: / *An assent under this section shall not be given until*

(a) Sous réserve du paragraphe (8), le comité consultatif ou la commission de services régionaux a recommandé l'emplacement ou bien des rues tel que le mentionne le paragraphe (1) ou (2) ou bien des terrains d'utilité publique tel que le mentionne le paragraphe (1) ou (3), ou bien des deux, selon le cas, ou cette recommandation a été rejetée par un vote de la majorité des membres du conseil; / *subject to subsection (8), the advisory committee or regional service commission has recommended the location of the streets referred to in subsection (1) or (2) or the land for public purposes referred to in subsection (1) or (3), or both, as the case may be, or the recommendation has been rejected by a majority of the members of council, and*

(b) L'exigence prescrite à l'alinéa 75(1)i) a été respectée. / *paragraph 75(1)(i) has been complied with.*

Recommendation / Recommandation

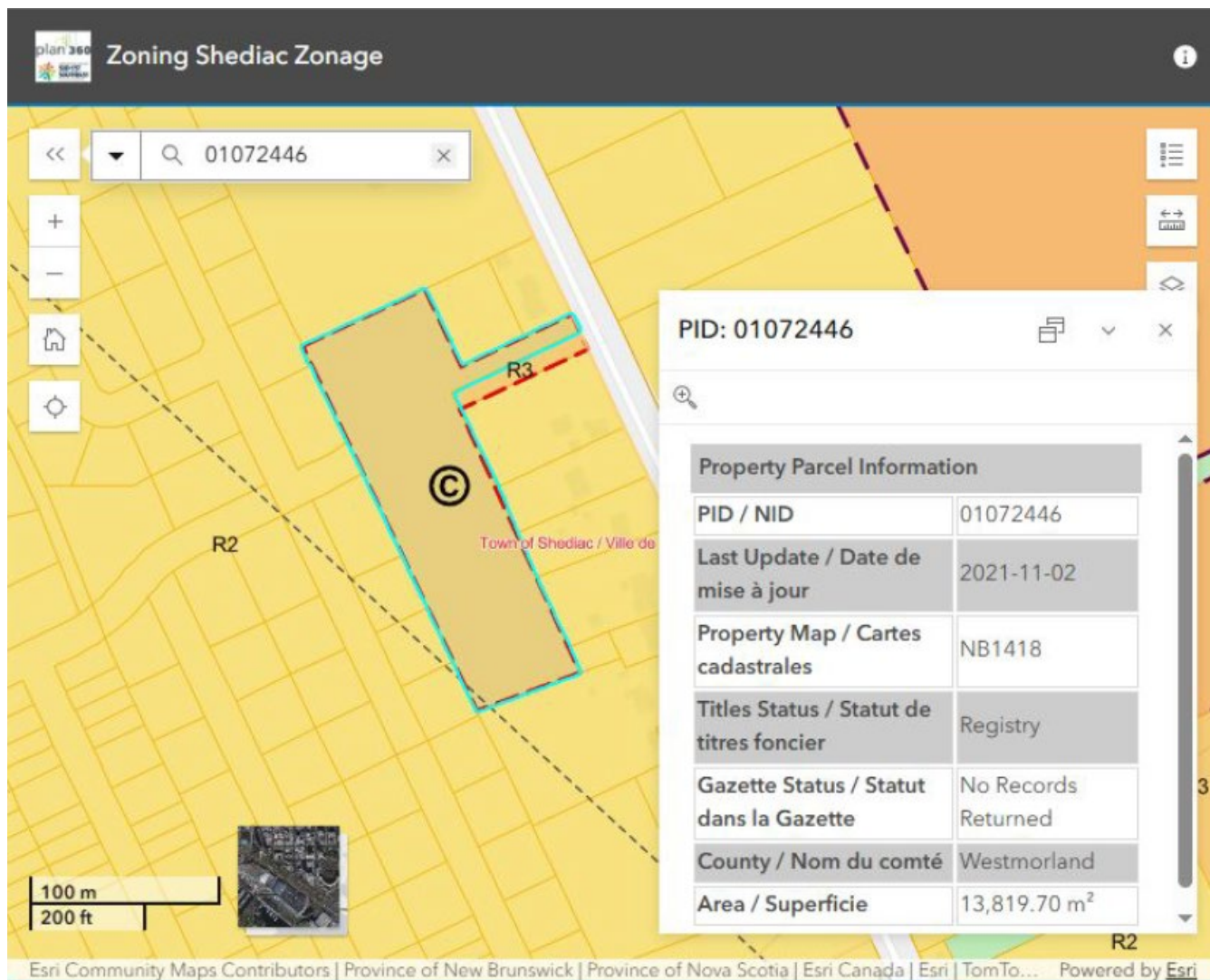
Le personnel de la Commission de services régionaux du Sud-Est recommande respectueusement que le Comité de révision de la planification recommande au Conseil municipal de la Ville de Shediac d'accepter l'emplacement de la rue tel qu'indiqué sur le plan de lotissement ci-joint « Ronald Martin Subdivision », portant le numéro de dessin 26-305S, préparé par JRD Engineering et daté du 3 juin 2026, sous réserve des conditions suivantes: / *The staff of the Southeast Regional Service Commission respectfully recommend that the Planning Review and Adjustment Committee recommend to the Town of Shediac Council to accept the location of the street as shown on the attached subdivision plan Ronald Martin Subdivision with drawing number 26-305S by JRD Engineering dated June 3 2026, subject to the following conditions:*

- Le promoteur conclura un accord de lotissement avec la Ville de Shediac pour l'aménagement des rues et des services. / *The developer shall enter into a subdivision agreement with the Town of Shediac for the development of streets and services.*
- Toutes les rues et tous les services doivent être construits conformément aux spécifications de la Ville de Shediac. / *All streets and services are to be constructed to the Town of Shediac specifications*

Note: This report was written in english and translated to a bilingual document. Where a conflict exists between the two languages, the language the report was written shall prevail. / **Note:** ce rapport a été

rédigé en anglais et traduit en version bilingue. En cas de conflit entre les deux langues, la langue dans laquelle le rapport a été rédigé a préséance.

Zoning



Résidentielle à haute densité (R3) / High Density Residential (R3)

Aerial image (GeoNB)



Main / Principal

1234 rue Main Street, Suite 200
Moncton, NB E1C 1H7
(506) 238-5386

Shediac

815A rue Bombardier Street
Shediac, NB E4P 1H9
(506) 533-3637

Tantramar

112C rue Main Street
Sackville, NB E4L 0C3
(506) 364-4701

Riverview

Operations Centre d'opérations
300 rue Robertson Street
Riverview, NB E1B 0T8
(506) 382-3574



NOTES:

1. AZIMUTHS AND COORDINATES WERE DERIVED FROM N.B. HIGH PRECISION NETWORK NAD83(CSRS), REFERENCED TO MONUMENT 5669.
2. DISTANCES SHOWN ARE GRID AND ARE IN METERS AND DECIMALS THEREOF.
3. SCALE FACTOR WITHIN AREA SURVEYED IS 1.000059.
4. THE DOCUMENT NUMBERS REFERRED TO ON THIS PLAN ARE THOSE OF COUNTY REGISTRY OFFICE AND/OR THE PROVINCIAL LAND REGISTRATION OFFICE FOR THE PROVINCE OF NEW BRUNSWICK.
5. AZIMUTHS ARE ROUNDED TO THE NEAREST 01°.
6. CERTIFICATION IS NOT MADE AS TO LEGAL TITLE, BEING THE DOMAIN OF A LAWYER, NOR TO THE ZONING AND SETBACK BY LAWS OR REGULATIONS, BEING THE DOMAIN OF THE DEVELOPMENT OFFICER.
7. CERTIFICATION IS NOT MADE AS TO COVENANTS SET OUT IN THE DOCUMENT(S), NOR TO THE LOCATION OF ANY UNDERGROUND SERVICES AND/OR FIXTURES, PERMANENT OR OTHERWISE.
8. FIELD SURVEY WAS COMPLETED ON OR BETWEEN 2026-##-## & 2026-##-##.

PURPOSE OF PLAN:

1. TO AMEND LOT 98-1 (REMNANT), PID 70323068, PLAN 202301.
2. TO CREATE LOTS 26-1000 TO 26-1001 FOR RESIDENTIAL BUILDING PURPOSES.
3. TO CREATE A PORTION OF VARYING WIDTH PUBLIC STREET "RUE JOCELYNE STREET", AS SHOWN, PURSUANT TO 56(6)(a) OF THE COMMUNITY PLANNING ACT, 2017.
4. TO CREATE A 5.0m WIDE PUBLIC UTILITY EASEMENT, PURSUANT TO SECTION 5, "DESIGNATED EASEMENT REGULATION" 2021-83, OF THE COMMUNITY PLANNING ACT, 2017.
5. TO CREATE A 5.0m WIDE LOCAL GOVERNMENT SERVICES EASEMENT AS SHOWN, PURSUANT TO SECTION 4, REGULATION 2021-83, OF THE COMMUNITY PLANNING ACT 2021.

UTILITIES APPROVAL

PURSUANT TO SECTION 5 OF "DESIGNATED EASEMENT REGULATION" 2021-83, THE PUBLIC UTILITY EASEMENT(S) ON THIS PLAN VEST(S) IN NEW BRUNSWICK POWER CORPORATION, BELL CANADA, ROGERS COMMUNICATION INC., AND LIBERTY UTILITIES WITH THE FILING OF THIS PLAN.

LOCAL GOVERNMENT SERVICES EASEMENT STATEMENT

PURSUANT TO SECTION 4 OF "DESIGNATED EASEMENT REGULATION" 2021-83, THE LOCAL GOVERNMENT SERVICES EASEMENT (L.G.S.E.) ON THIS PLAN VEST IN THE TOWN OF SHEDIAC WITH THE FILING OF THIS PLAN.

PROPERTY INFORMATION

PID 01072446
REGISTERED OWNER: RONALD MARTIN
DEED TRANSFER 664700, VOL. 2889, PG. 373, DATE: 1999-04-08
PLAN 14214

PROPERTY INFORMATION

PID 70323068
REGISTERED OWNER: RONALD MARTIN
DEED TRANSFER 664785, VOL. 2890, PG. 211, DATE: 1999-04-12
PLAN 202301, LOT 98-1 (REMNANT)

OWNER'S STATEMENT

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT I REPRESENT THE REGISTERED OWNER OF THE PROPERTY BEING SUBDIVIDED HEREON AND DO HEREBY GRANT APPROVAL TO THIS PLAN, AS ITS INTERESTS MAY APPEAR.

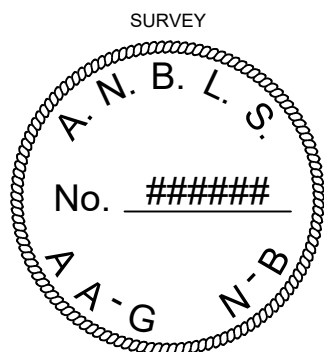
RONALD MARTIN (OWNER)

RAYWORTH & ROBERTS SURVEYS LTD.
23 LAPLANCHE ST.
AMHERST, N.S.
JRD-##

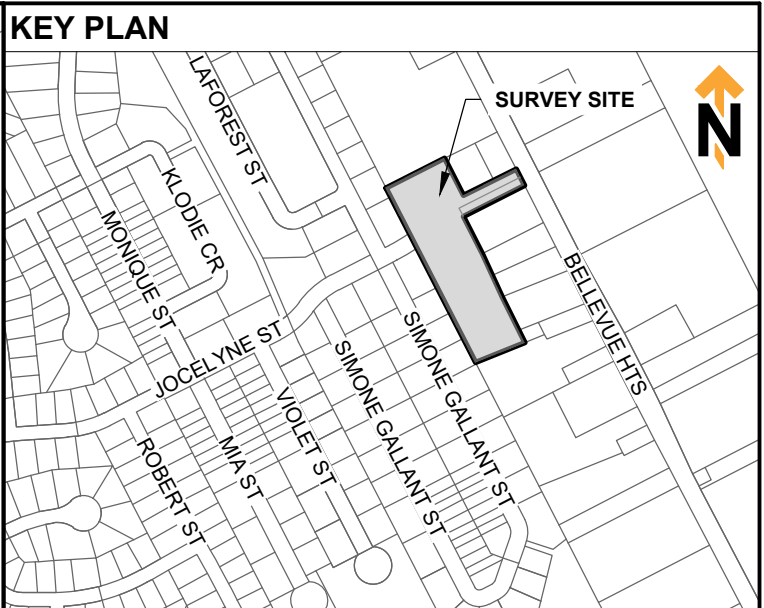
SURVEYOR'S STATEMENT

I, MICHAEL J. GOULD N.B.L.S., DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND ABILITY THIS PLAN CORRECTLY DEPICTS ANY RESEARCH, FIELD WORK AND COMPUTATIONS UNDERTAKEN FOR THIS PROJECT.

MICHAEL J. GOULD N.B.L.S. #390 2026-##-##



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LEGEND	
ITEM	
STANDARD SURVEY MARKER PLACED	⊙
STANDARD SURVEY MARKER FOUND	⊙
CALCULATED COORDINATE POINT	⊙
IRON PIPE FOUND	⊙
IRON BAR FOUND	⊙
SCRIBED WOODEN SURVEYOR'S POST	⊙
SQUARE IRON BAR FOUND	⊙
WOODEN SURVEYOR POST FOUND	⊙
NB GRID MONUMENT	⊙
TRAVERSE CONTROL POINT	⊙
LAND DEALT WITH BY THIS PLAN BOUNDED THUS	—————
LOT LINE	—————
AMENDING LOT LINE	—————
PROPOSED LOT LINE	—————
EASEMENT	—————
PROPOSED EASEMENT	—————
UTILITY POLE	⊙
GUY WIRE	—
LIGHT STANDARD	⊙
OVERHEAD UTILITY LINE	—
UNDERGROUND UTILITY LINE	—
GAS LINE	—
CURB STOP	—
FENCE	—
TREES	—
TREE LINE	—
MARSH	—
WATER WELL	⊙
ORDINARY HIGH WATER MARK	—
NEW BRUNSWICK HIGH PRECISION MONUMENT	N.B. H.P.M.

AMENDING SUBDIVISION PLAN
RONALD MARTIN SUBDIVISION
AMENDING PLAN 202301

OWNER

RONALD MARTIN

RUE JOCELYNE STREET
TOWN OF SHEDIAC
PARISH OF SHEDIAC
COUNTY OF WESTMORLAND
PROVINCE OF NEW BRUNSWICK

SCALE

0 5 10 15 20 25
1:500 (A1)



DRAWN BY M.D. **CHECKED BY** M.J.G. **DRAWING DESCRIPTION** TENTATIVE SD PLAN

JOCELYNE STREET EXTENSION

ROADWAYS, WATER & SEWER SERVICES

SHEDIAC, NB

DRAWING No.	DRAWING TITLE
C-001	COVER PAGE
C-101	SITE PLAN
C-102	DRAINAGE PLAN
C-201	PLAN & PROFILE RUE JOCELYNE STREET STA 6+280 TO STA 6+500
C-301	CROSS SECTIONS RUE JOCELYNE STREET
C-501	NOTES & DETAILS

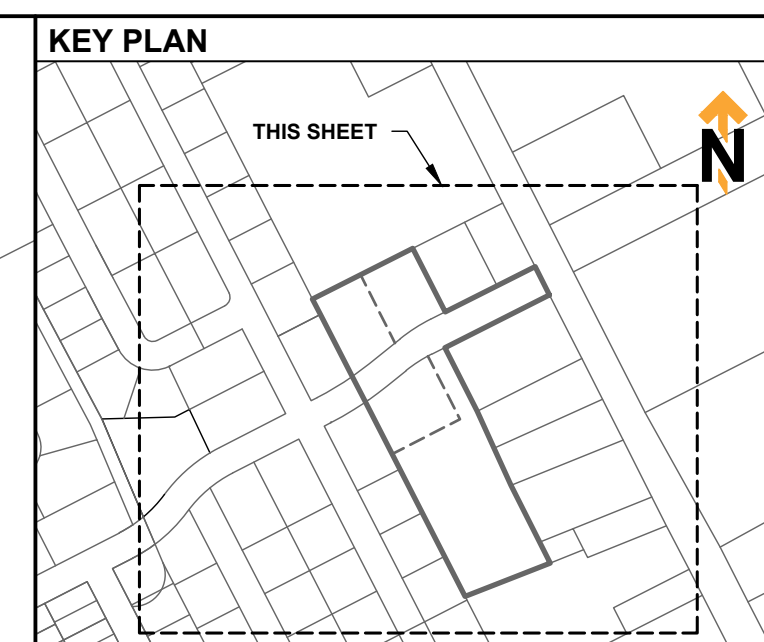
KEY PLAN



PROJECT INFORMATION

CLIENT/OWNER: BDL QUALITY HOMES LTD.
CIVIL CONSULTANT: JRD ENGINEERING LTD

ITEM		EXISTING	PROPOSED
SANITARY MANHOLE			
STORM MANHOLE			
SANITARY SEWER			
STORM SEWER			
PIPE INSULATION			
CATCH BASIN			
DOUBLE CATCH BASIN			
SLUICE BOX			
CULVERT			
WATER MAIN			
GATE VALVE			
FIRE HYDRANT			
BEND/TEE/WYVE			
END CAP			
REDUCER			
CURB STOP			
VALVE CHAMBER			
WATER WELL			
UTILITY POLE			
GUY WIRE			
LIGHT STANDARD			
OVERHEAD UTILITY LINE			
UNDERGROUND UTILITY LINE			
TELECOM. MAN HOLE			
TRAFFIC SIGNALS			
GAS LINE			
FENCE			
TREE LINE			
TREES			
SHRUB			
TOP OF BANK			
GROUND ELEVATION			
FINISH GRADE			
SURVEY MARKER			
SIGN & POST			
CURB & GUTTER			
SIDEWALK			
GRASS AREA			
CHECK DAM			
SILT FENCE			
TEST PIT			
BORE HOLE			
DEFINITIONS & ABBREVIATIONS			
B.F.E.	BASEMENT FLOOR ELEVATION		
B.H.	BOREHOLE		
C.E.	CRITICAL ELEVATION		
CB	CATCH BASIN		
CS	CURB STOP		
DCB	DOUBLE CATCH BASIN		
EC	END CAP		
F.D.C.	FIRE DEPARTMENT CONNECTION		
FFE	FIRST FLOOR ELEVATION		
FH	FIRE HYDRANT		
GV	GATE VALVE		
L.G.S.E.	LOCAL GOVERNMENT SERVICES EASEMENT		
L.O.C.	LIMIT OF CONTRACT		
L.O.G.	LIMIT OF GRADING		
L.O.W.	LIMIT OF WORK		
LFPP	LAND FOR PUBLIC PURPOSES		
M.S.E.	MUNICIPAL SERVICES EASEMENT		
MH	MANHOLE		
N.I.C.	NOT IN CONTRACT		
P.U.E.	PUBLIC UTILITY EASEMENT		
PSW	PROVINCIALY SIGNIFICANT WETLAND		
RED	REDUCER		
ROW	RIGHT OF WAY		
RW	REGULATED WETLAND		
SAN	SANITARY SEWER		
SB	SLUICE BOX		
STM	STORM SEWER		
T/C	TOP OF CONCRETE		
TP	TEST PIT		
UG	UNDERGROUND		
VC	VALVE CHAMBER		
W.M.	WATER MAIN		



ITEM	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
SANITARY SEWER		
STORM SEWER		
PIPE INSULATION		
CATCH BASIN		
DOUBLE CATCH BASIN		
SLUICE BOX		
CULVERT		
WATER MAIN		
GATE VALVE		
FIRE HYDRANT		
BEND/TEE/WYWE		
END CAP		
REDUCER		
CURB STOP		
VALVE CHAMBER		
WATER WELL		
UTILITY POLE		
GUY WIRE		
LIGHT STANDARD		
OVERHEAD UTILITY LINE		
UNDERGROUND UTILITY LINE		
TELECOM. MAN HOLE		
TRAFFIC SIGNALS		
GAS LINE		
FENCE		
TREE LINE		
TREES		
SHRUB		
TOP OF BANK		
GROUND ELEVATION		
FINISH GRADE		
SURVEY MARKER		
SIGN & POST		
CURB & GUTTER		
SIDEWALK		
GRASS AREA		
CHECK DAM		
SILT FENCE		
TEST PIT		
BORE HOLE		

NOTES:

- 1 SEE DWG C-501 FOR NOTES & DETAILS

A	ISSUED FOR PRELIMINARY REVIEW	2026-01-
No.	DESCRIPTION	DATE



PROJECT TITLE

**JOCELYNE STREET EXTENSION
ROADWAYS, WATER & SEWER SERVICES
SHEDIAC, NB**

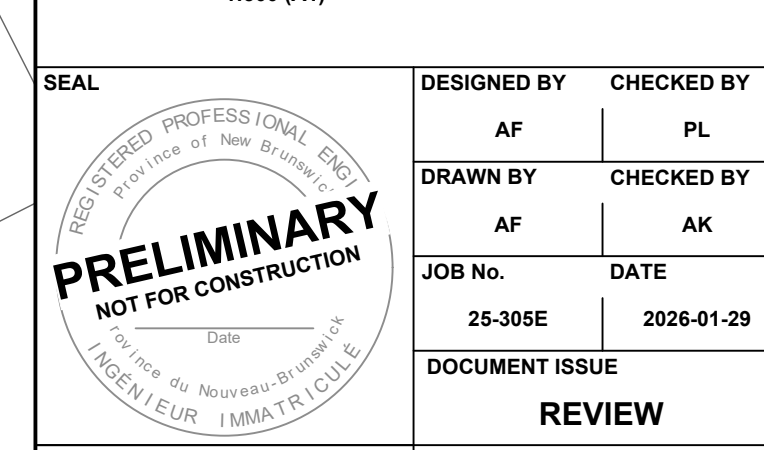
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DRAWING TITLE

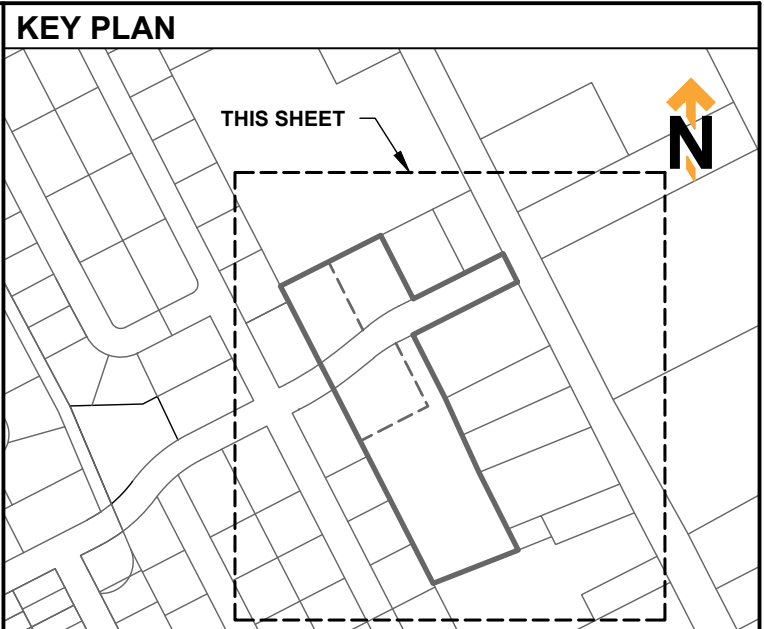
SITE PLAN

SCALE

0 5 10 15 20 25
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REVISION	DRAWING NUMBER
A	C-101



LEGEND		
ITEM	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
SANITARY SEWER		
STORM SEWER		
PIPE INSULATION		
CATCH BASIN		
DOUBLE CATCH BASIN		
SLUICE BOX		
CULVERT		
WATER MAIN		
GATE VALVE		
FIRE HYDRANT		
BEND/TEE/WYE		
END CAP		
REDUCER		
CURB STOP		
VALVE CHAMBER		
WATER WELL		
UTILITY POLE		
GUY WIRE		
LIGHT STANDARD		
OVERHEAD UTILITY LINE		
UNDERGROUND UTILITY LINE		
TELECOM. MAN HOLE		
TRAFFIC SIGNALS		
GAS LINE		
FENCE		
TREE LINE		
TREES		
SHRUB		
TOP OF BANK		
GROUND ELEVATION		
FINISH GRADE		
SURVEY MARKER		
SIGN & POST		
CURB & GUTTER		
SIDEWALK		
GRASS AREA		
CHECK DAM		
SILT FENCE		
TEST PIT		
BORE HOLE		

NOTES:
1. SEE DWG C-501 FOR NOTES & DETAILS

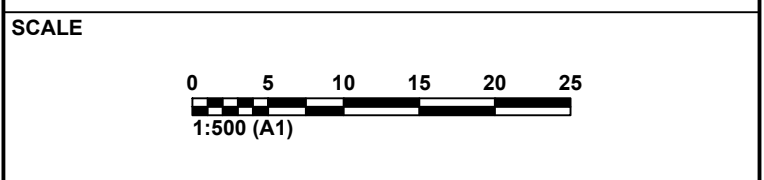
A	ISSUED FOR PRELIMINARY REVIEW	2026-01-29
No.	DESCRIPTION	DATE

CIVIL CONSULTANT

JRD ENGINEERING LTD. INFO@JRDENG.CA
30 GORDON ST., SUITE 101 | MONCTON, NB E1C 1L8

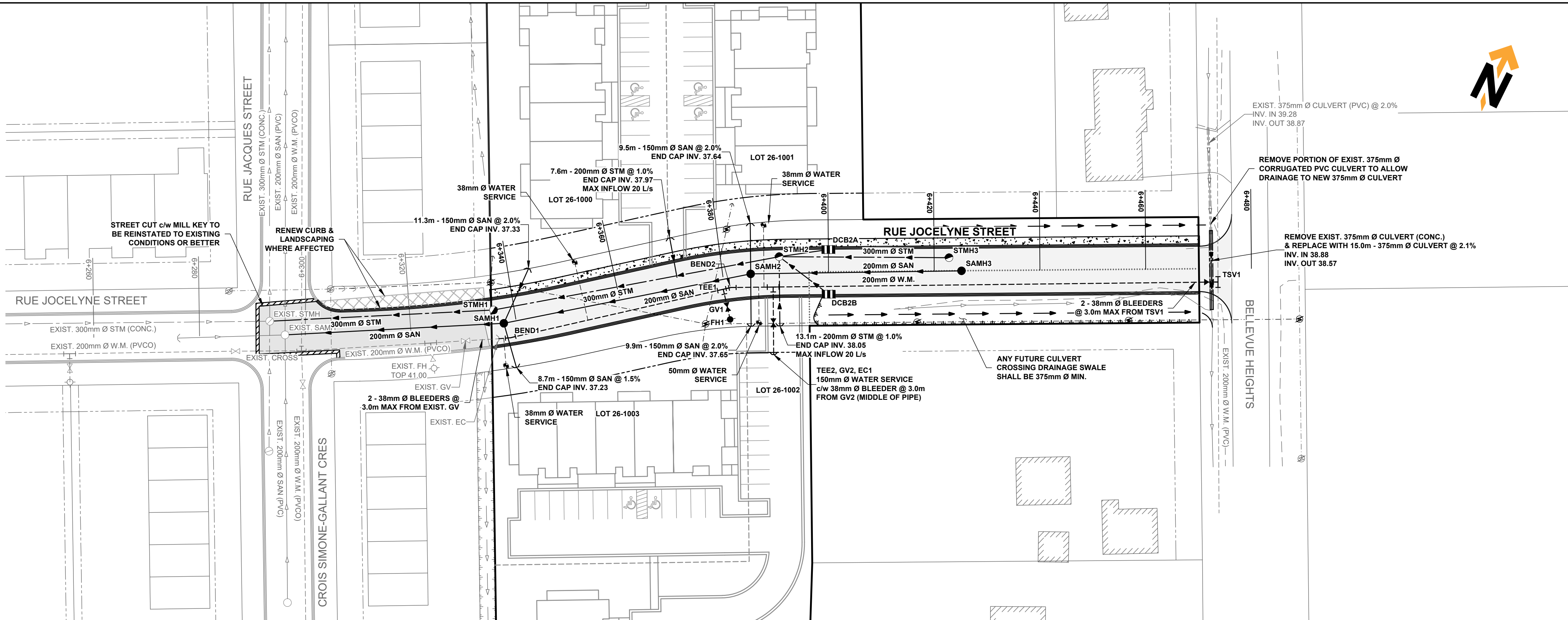
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**JOCELYNE STREET EXTENSION
ROADWAYS, WATER & SEWER SERVICES
SHEDIAC, NB**

DRAWING TITLE
DRAINAGE PLAN

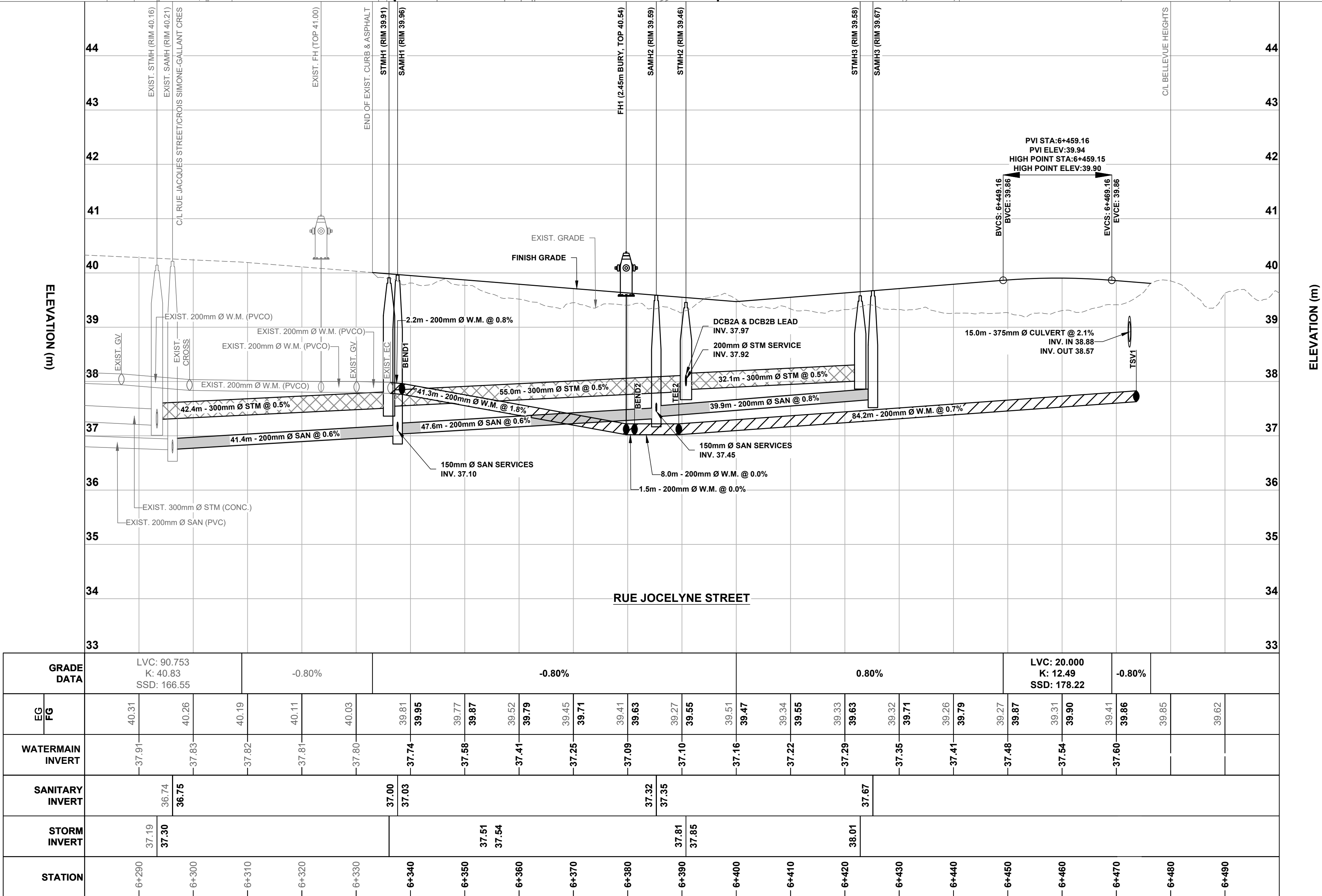


	DESIGNED BY	CHECKED BY
	AF	PL
	DRAWN BY	CHECKED BY
	AF	AK
JOB No.	DATE	
25-305E	2026-01-29	
DOCUMENT ISSUE		
	REVIEW	
	DRAWING NUMBER	
	C-102	

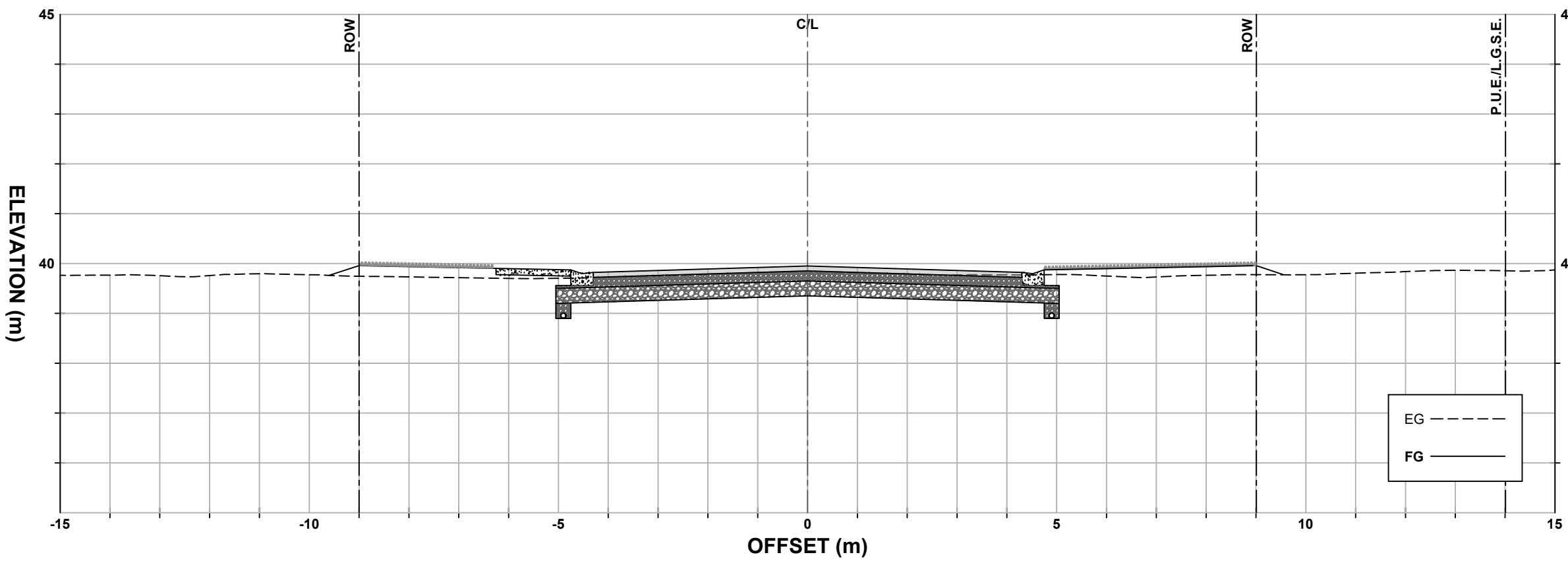
CATCH BASIN SCHEDULE									
STRUCTURE	SIZE (mm Ø)	RIM ELEV. (m)	EASTING (m)	NORTHING (m)	INV. IN (m)	INV. OUT (m)	LEAD Ø (mm)	LEAD LENGTH & SLOPE	ICD Ø (mm)
DCB2A	1050	39.34	2653128.583	7470161.777		38.15 (TO SW)	150	9.4m @ 1.9%	108
DCB2B	1050	39.34	2653132.387	7470154.243		38.15 (TO W)	150	11.8m @ 1.5%	95



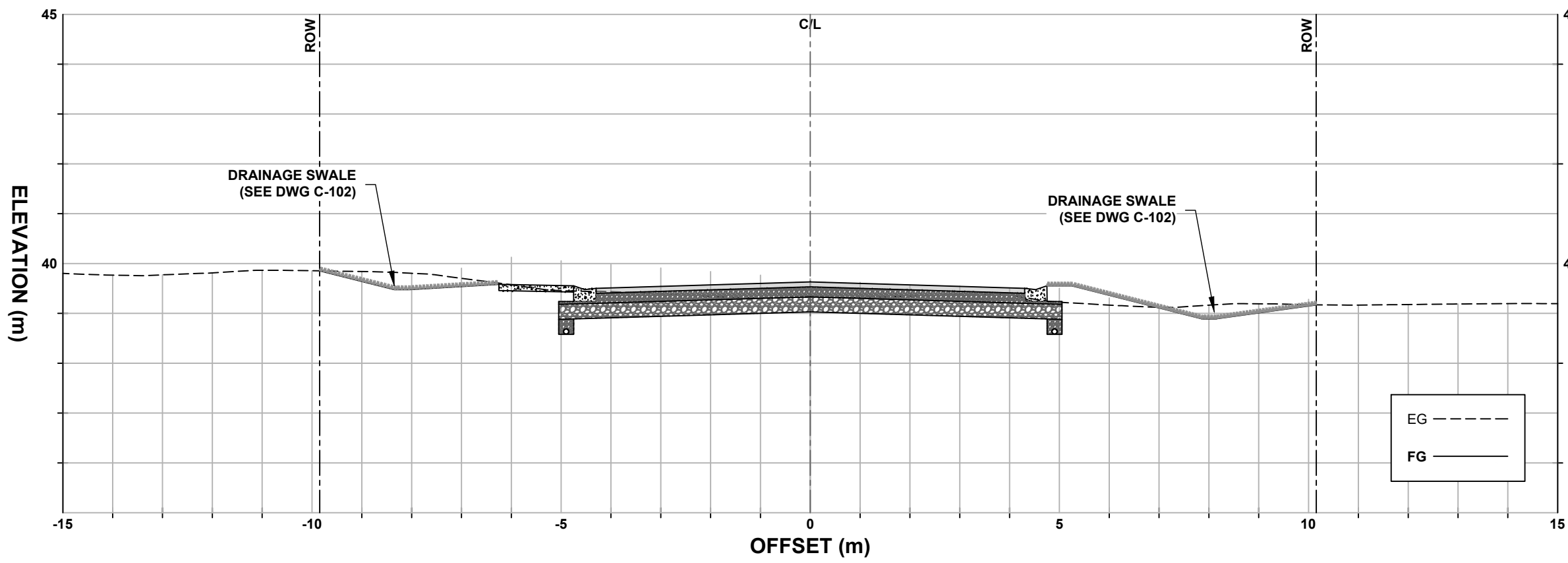
KEY PLAN		
THIS SHEET		
LEGEND		
ITEM	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
SANITARY SEWER		
STORM SEWER		
PIPE INSULATION		
CATCH BASIN		
DOUBLE CATCH BASIN		
SLUICE BOX		
CULVERT		
WATER MAIN		
GATE VALVE		
FIRE HYDRANT		
BEND/TEE/WYE		
END CAP		
REDUCER		
CURB STOP		
VALVE CHAMBER		
WATER WELL		
UTILITY POLE		
GUY WIRE		
LIGHT STANDARD		
OVERHEAD UTILITY LINE		
UNDERGROUND UTILITY LINE		
TELECOM. MAN HOLE		
TRAFFIC SIGNALS		
GAS LINE		
FENCE		
TREE LINE		
TREES		
SHRUB		
TOP OF BANK		
GROUND ELEVATION		
FINISH GRADE		
SURVEY MARKER		
SIGN & POST		
CURB & GUTTER		
SIDEWALK		
GRASS AREA		
CHECK DAM		
SILT FENCE		
TEST PIT		
BORE HOLE		
NOTES:		
1. SEE DWG C-501 FOR NOTES & DETAILS		



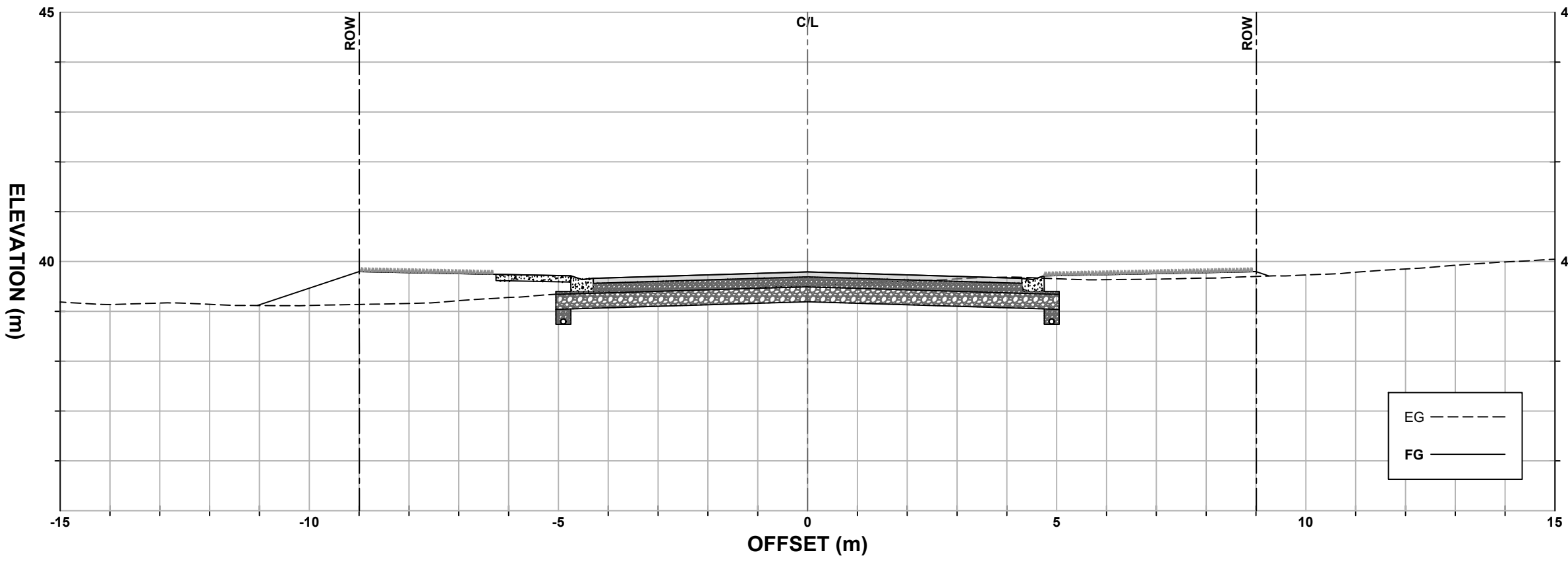
GRADE DATA	LVC: 90.753 K: 40.83 SSD: 166.55		-0.80%		-0.80%						0.80%						LVC: 20.000 K: 12.49 SSD: 178.22		-0.80%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
EG. FIG	40.31			40.26		40.19			40.11		40.03		39.81	39.95		39.77	39.87		39.52	39.79		39.45	39.71		39.41	39.63		39.27	39.63		39.32	39.71		39.26	39.79		39.27	39.87		39.31	39.90		39.41	39.86		39.85		39.62																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
WATERMAIN INVERT		-37.91			-37.83		-37.82		-37.81		-37.80		-37.74	-39.81	-37.58	-39.77	-39.87		-37.41	-39.79		-37.25	-39.71		-37.09	-39.63		-37.10	-39.27	-39.55		-37.16		-37.16		-37.22	-39.55		-37.29	-39.33		-37.29	-39.63		-37.35	-39.71		-37.41	-39.26		-37.48	-39.27		-37.48	-39.87		-37.54	-39.90		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-37.60	-39.86		-



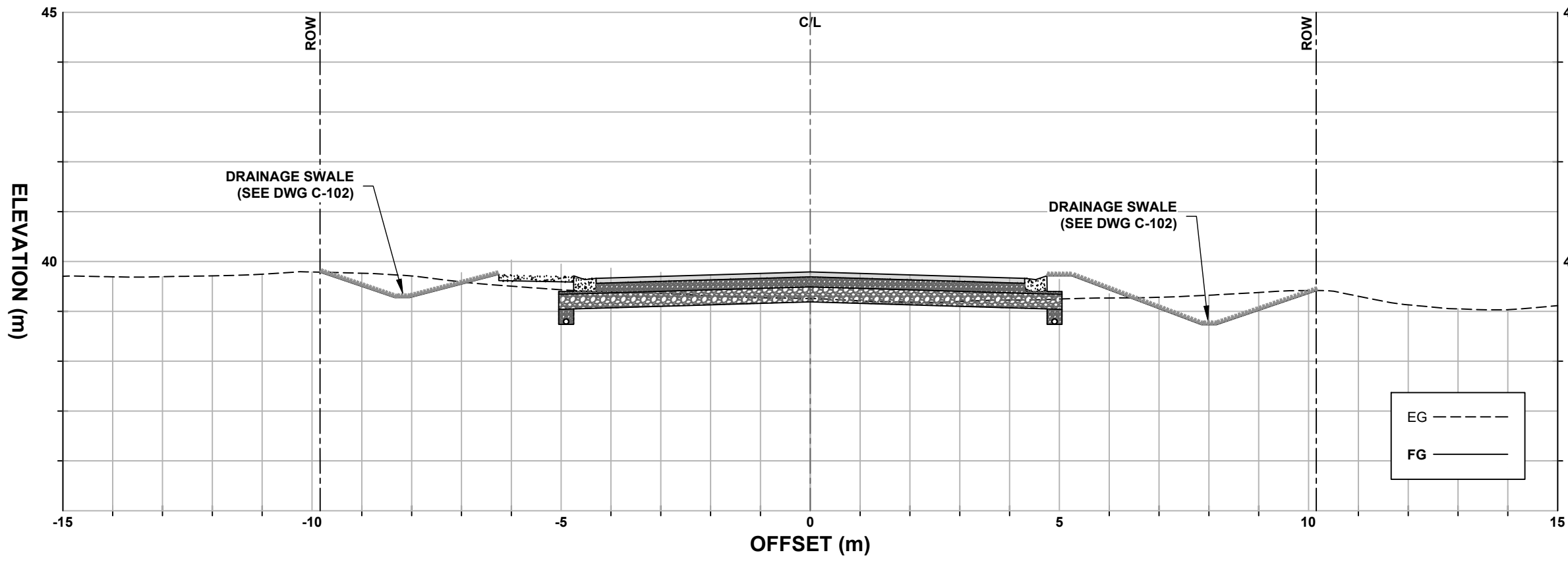
RUE JOCELYNE STREET - CROSS SECTION AT STATION 6+340.00



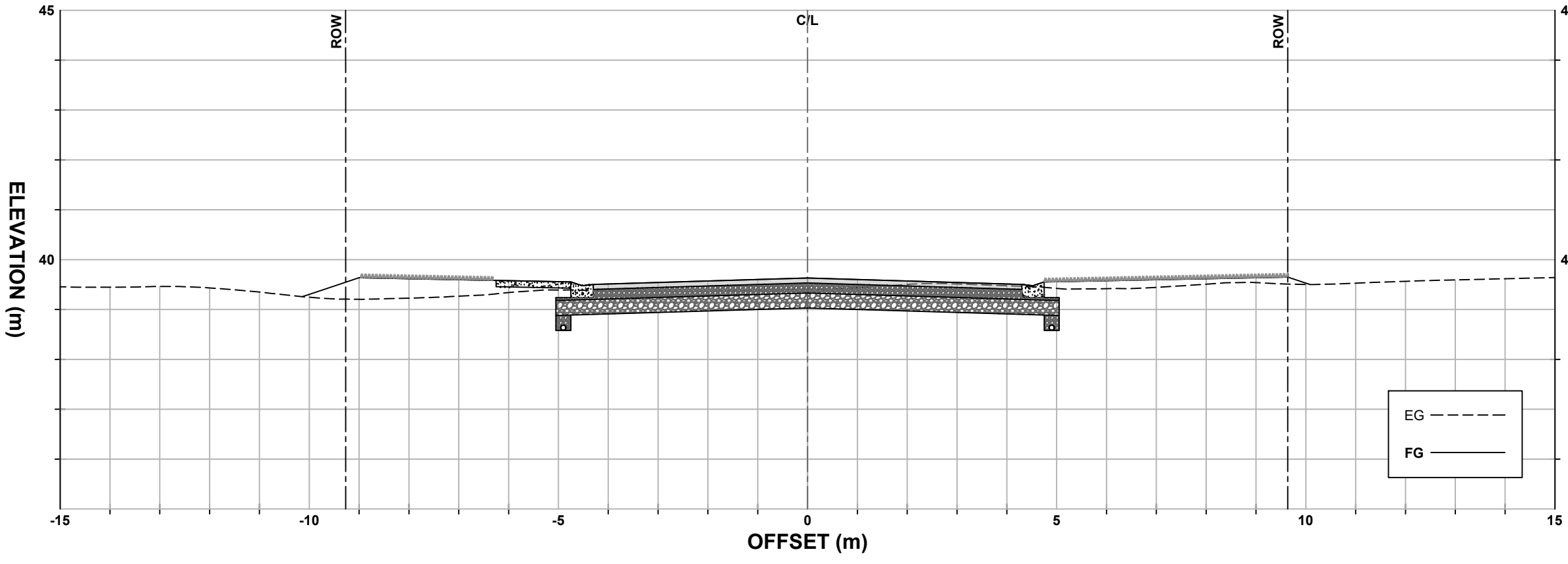
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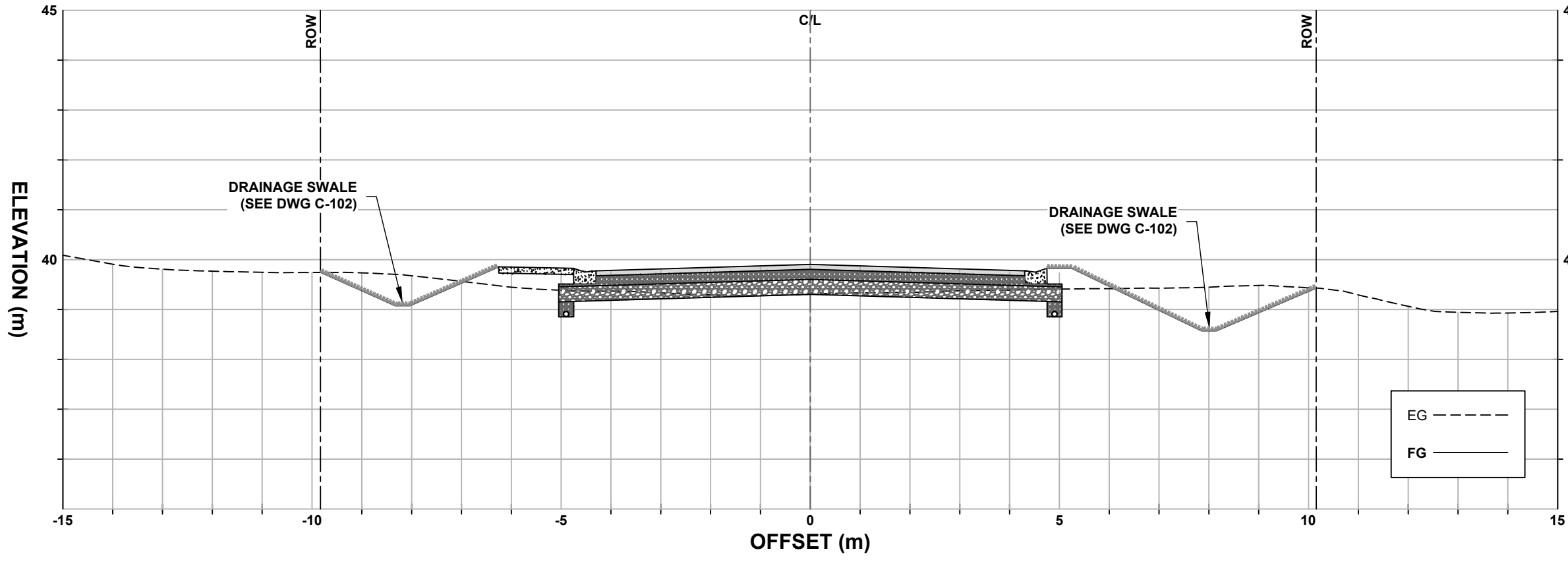
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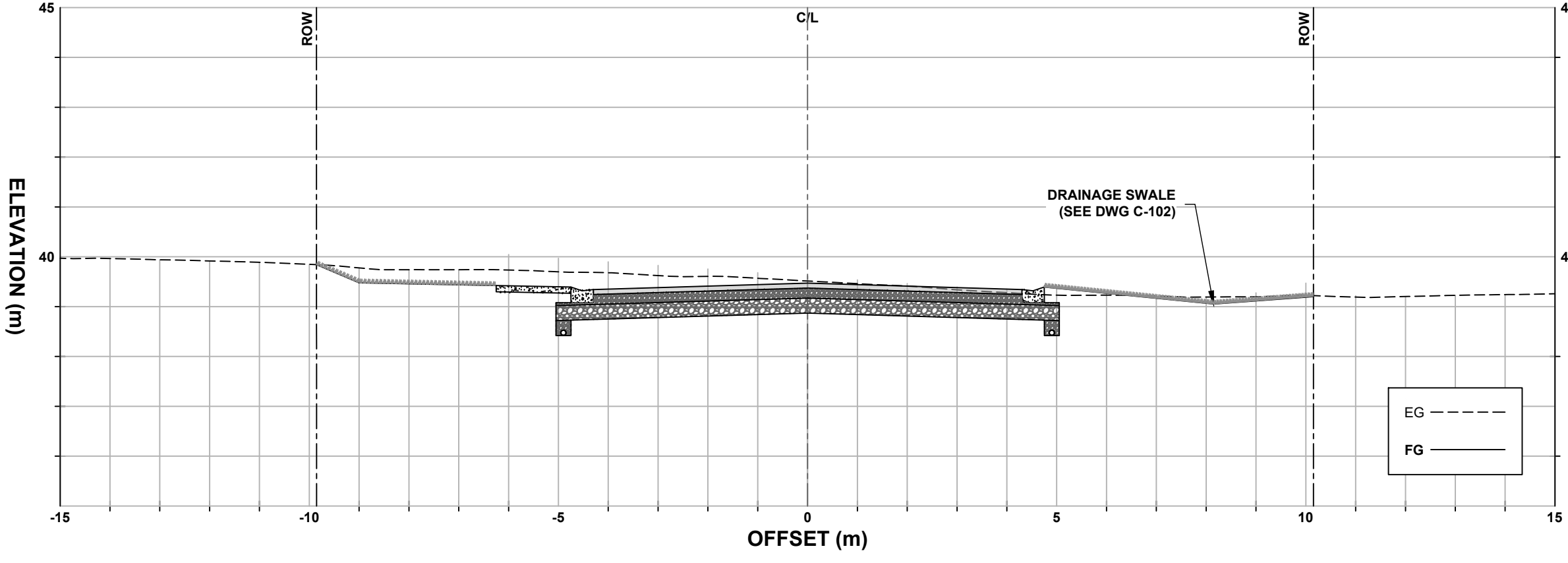
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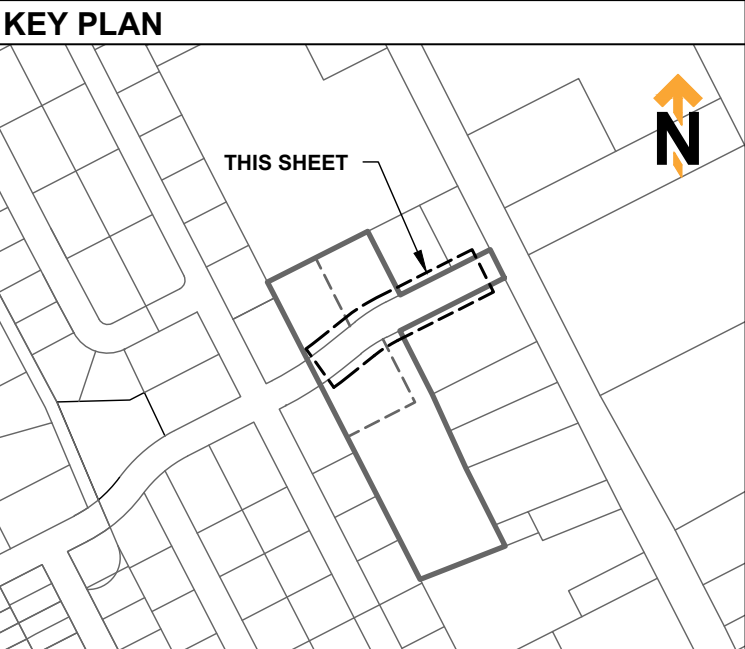
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RUE JOCELYNE STREET - CROSS SECTION AT STATION 6+460.00



RUE JOCELYNE STREET - CROSS SECTION AT STATION 6+400.00



LEGEND		
ITEM	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
SANITARY SEWER		
STORM SEWER		
PIPE INSULATION		
CATCH BASIN		
DOUBLE CATCH BASIN		
SLUICE BOX		
CULVERT		
WATER MAIN		
GATE VALVE		
FIRE HYDRANT		
BEND/TEE/WYVE		
REDUCER		
CURB STOP		
VALVE CHAMBER		
WATER WELL		
UTILITY POLE		
GUY WIRE		
LIGHT STANDARD		
OVERHEAD UTILITY LINE		
UNDERGROUND UTILITY LINE		
TELECOM. MAN HOLE		
TRAFFIC SIGNALS		
GAS LINE		
FENCE		
TREE LINE		
TREES		
SHRUB		
TOP OF BANK		
GROUND ELEVATION		
FINISH GRADE		
SURVEY MARKER		
SIGN & POST		
CURB & GUTTER		
SIDEWALK		
GRASS AREA		
CHECK DAM		
SILT FENCE		
TEST PIT		
BORE HOLE		

NOTES:
1. SEE DWG C-501 FOR NOTES & DETAILS

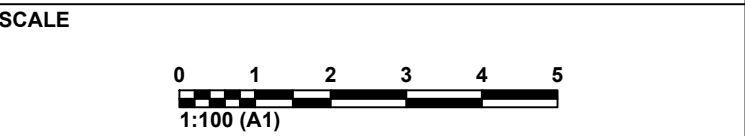
A	ISSUED FOR PRELIMINARY REVIEW	2026-01-29
No.	DESCRIPTION	DATE

CIVIL CONSULTANT

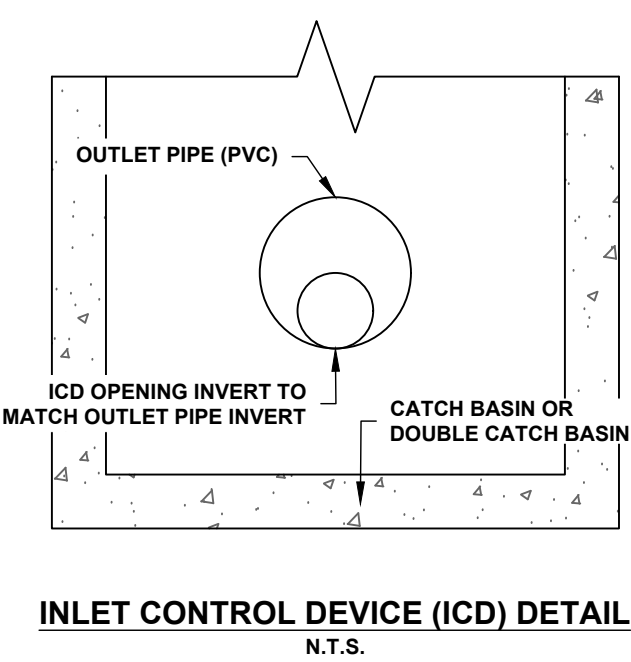
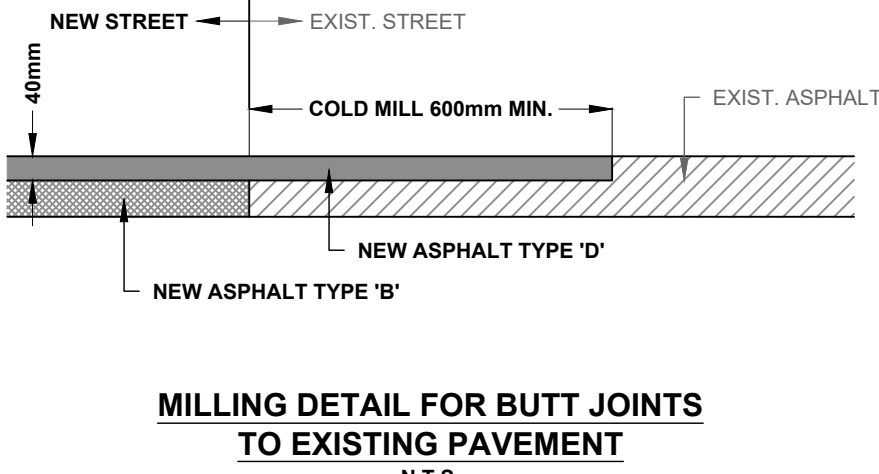
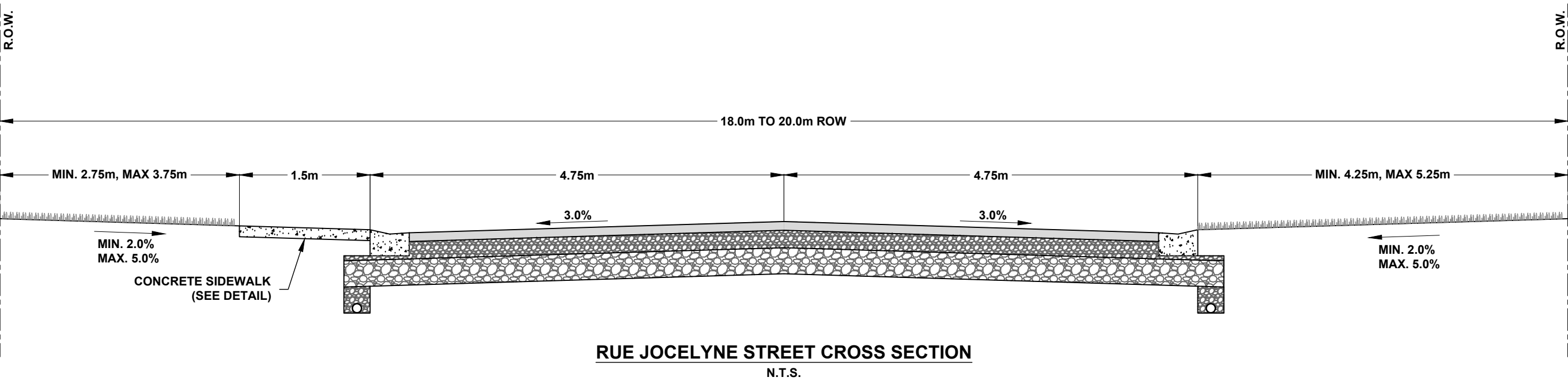
JRD ENGINEERING LTD. | INFO@JRDENG.CA
30 GORDON ST., SUITE 101 | MONCTON, NB E1C 1L8

PROJECT TITLE
**JOCELYNE STREET EXTENSION
ROADWAYS, WATER & SEWER SERVICES
SHEDIAC, NB**

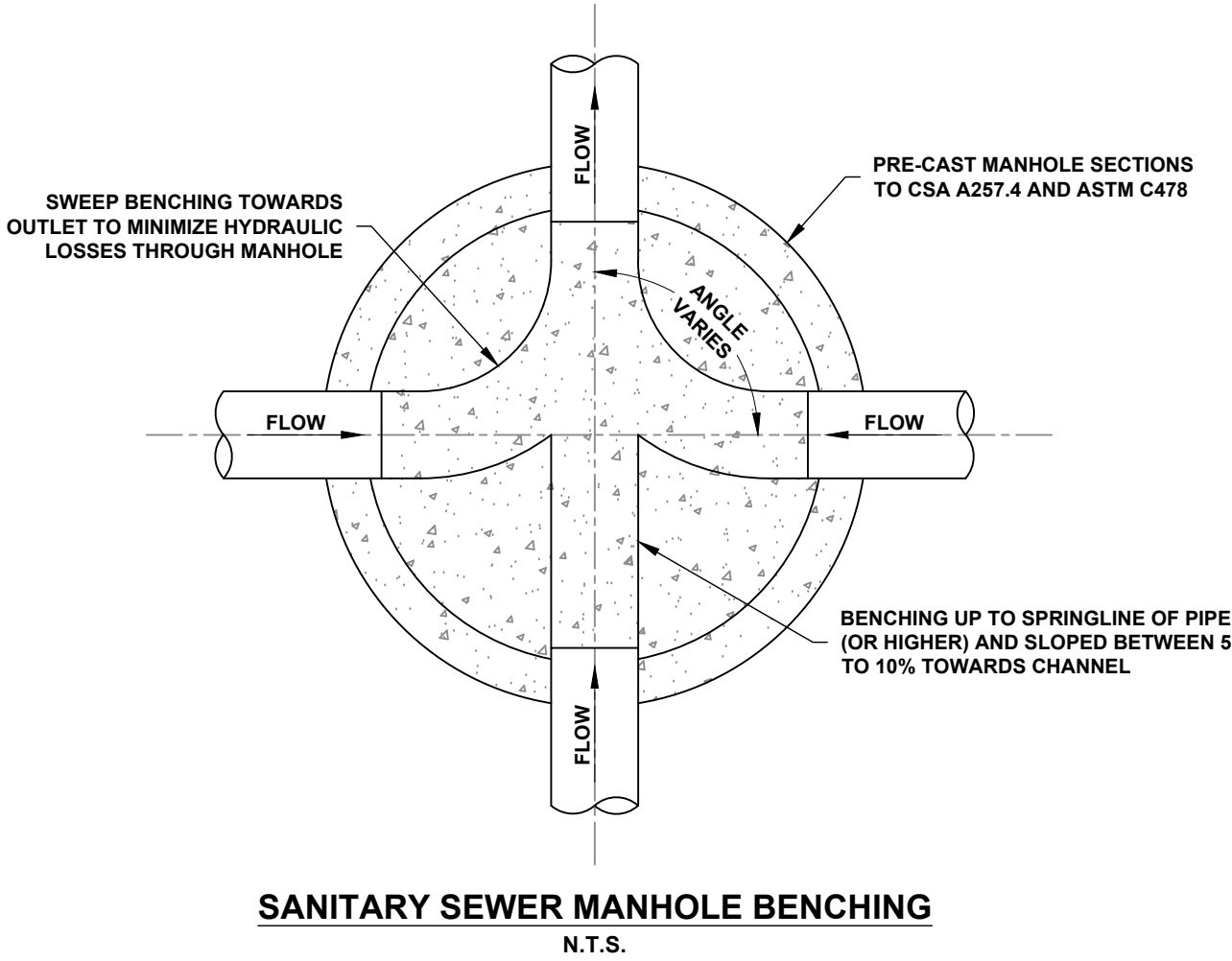
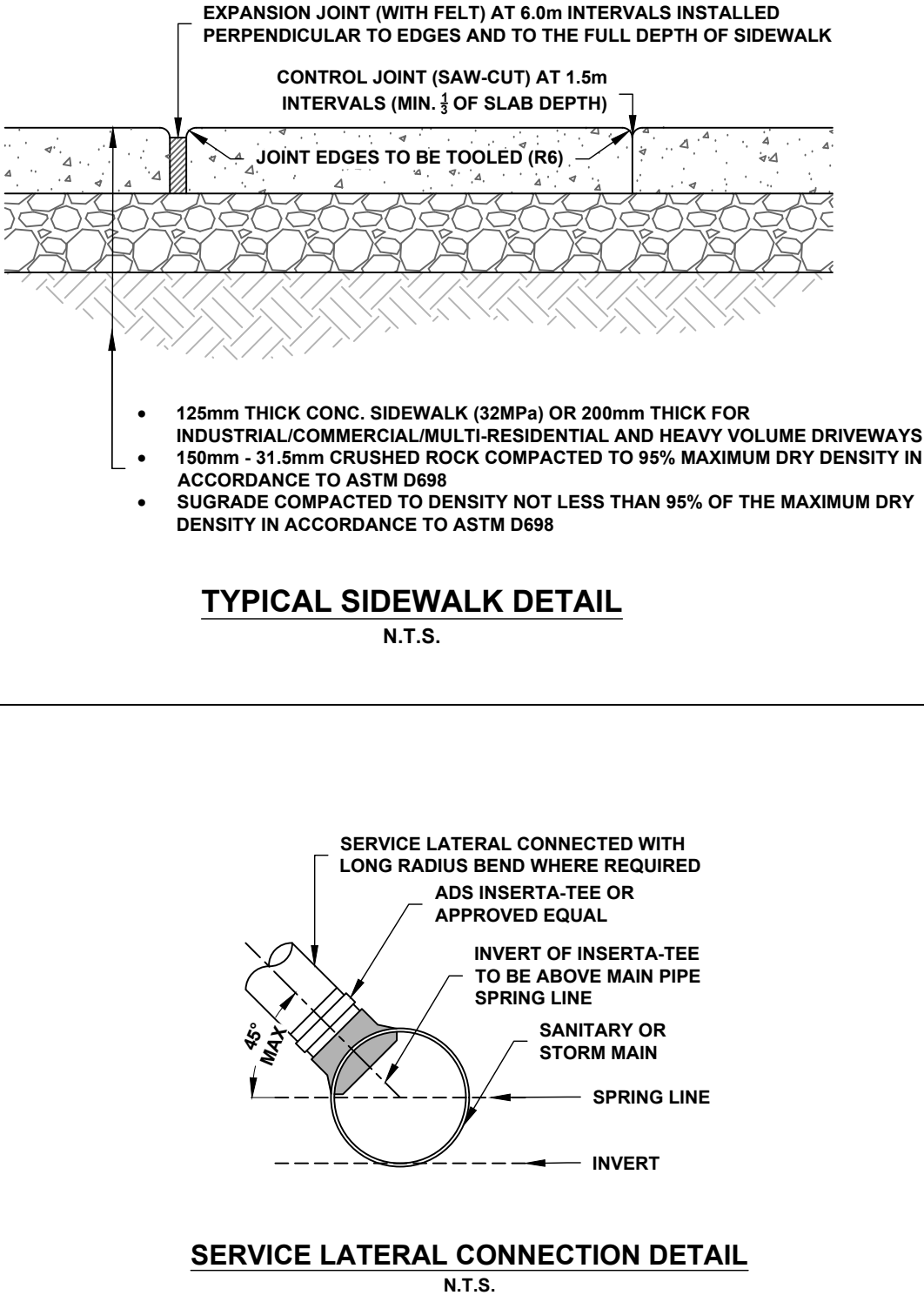
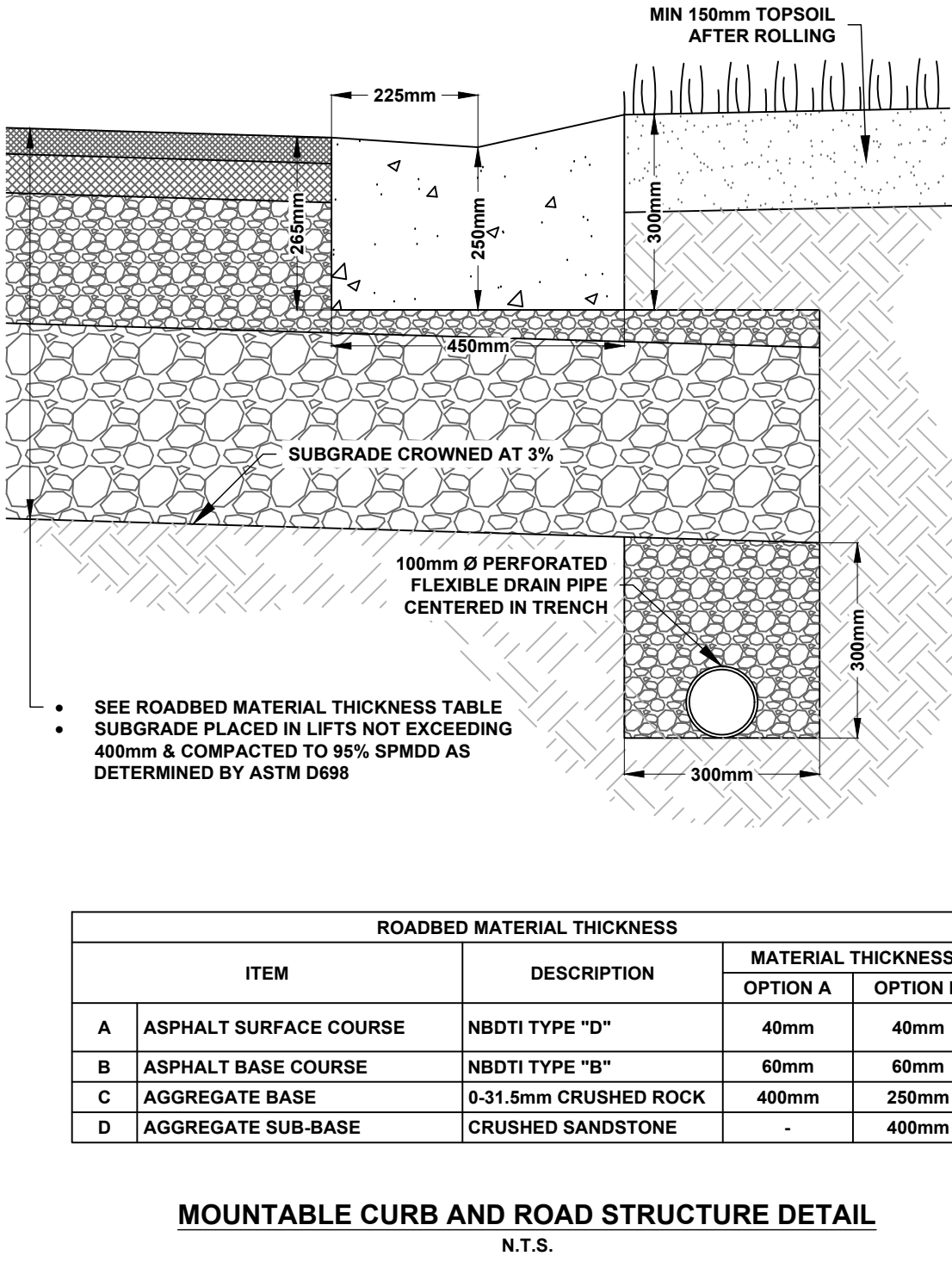
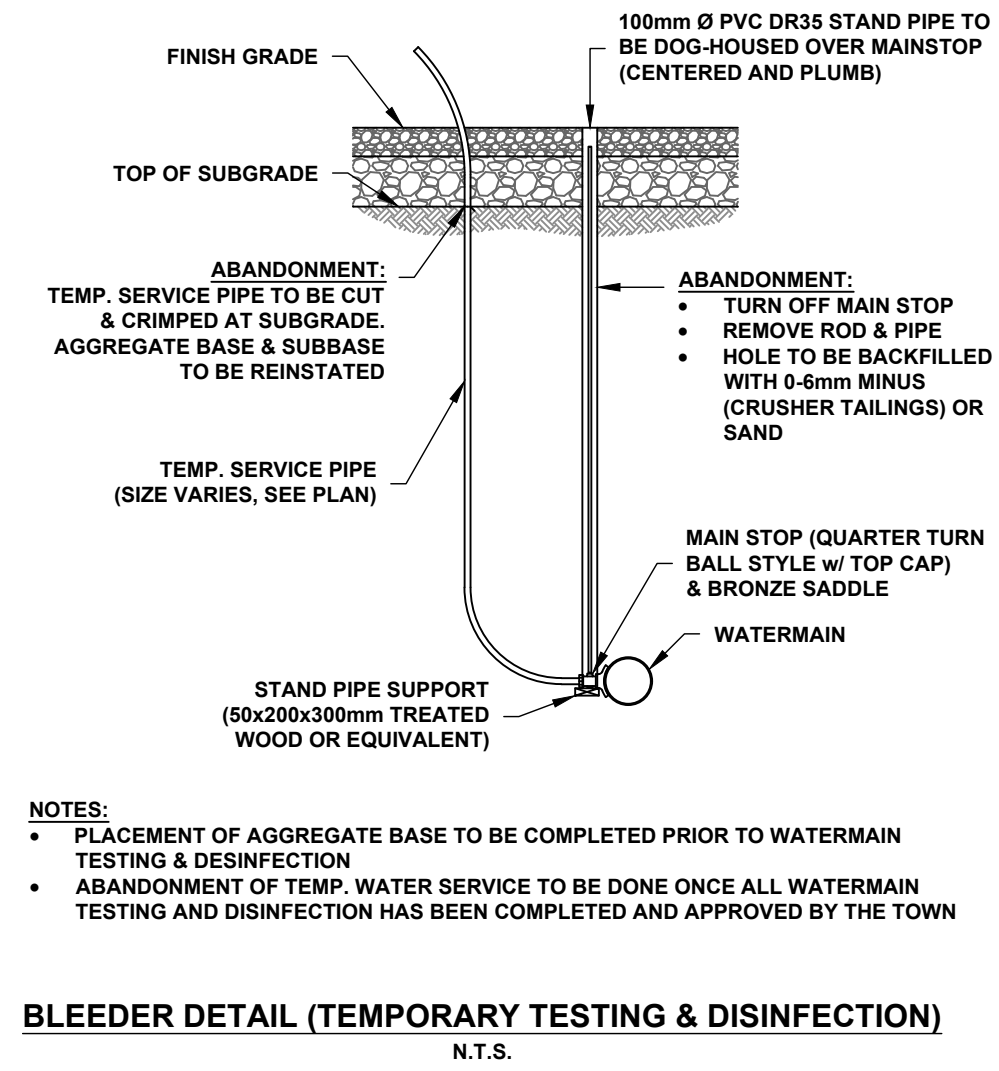
DRAWING TITLE
**CROSS SECTIONS
RUE JOCELYNE STREET**



SEAL REGISTERED PROFESSIONAL ENGINEER Province of New Brunswick PRELIMINARY NOT FOR CONSTRUCTION Alain Fournier No. 25-305E IMMATRICULÉ REVISION A	DESIGNED BY AF		CHECKED BY PL	
	DRAWN BY AF		CHECKED BY AK	
	JOB No. 25-305E		DATE 2026-01-29	
	DOCUMENT ISSUE REVIEW			
	DRAWING NUMBER C-301			



- GENERAL NOTES:**
- ALL SURVEY CONTROL OBTAINED FROM NAD83 CSRS CONTROL MONUMENT #5689 (VERTICAL DATUM CGVD28).
 - ALL WORK SHALL CONFORM TO THE TOWN OF SHEDIAC STANDARD MUNICIPAL SPECIFICATIONS (LATEST REVISION), THE TOWN OF SHEDIAC SUBDIVISION DEVELOPMENT PROCEDURES, STANDARDS AND GUIDELINES (LATEST REVISION), AND THE GREATER SHEDIAC SEWERAGE COMMISSION STANDARD SPECIFICATIONS (LATEST REVISION).
 - ALL DISTURBED AREAS ON ADJACENT PROPERTIES SHALL BE REINSTATED TO PRE-CONSTRUCTION CONDITIONS OR BETTER WITH TOPSOIL & HYDROSEEDING AS PER THE TOWN OF SHEDIAC SPECIFICATIONS.
 - ALL SWALES SHALL BE CONSTRUCTED AND INLET CONTROL DEVICES SHALL BE INSTALLED IN CATCH BASINS IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE STORM SEWER SYSTEM.
 - ALL SWALES, DITCHES AND DISTURBED AREAS SHALL BE STABILIZED WITH HAY OR MULCH AS SOON AS POSSIBLE AND PERMANENTLY STABILIZED WITH HYDRAULIC SEEDING, AS PER TOWN OF SHEDIAC SPECIFICATIONS.
 - DUST CONTROL, MUDDIRT REMOVAL FROM ROADWAYS, AND EROSION & SEDIMENTATION CONTROLS SHALL BE CARRIED OUT BY THE DEVELOPER/CONTRACTOR FOR THE DURATION OF THE PROJECT.
 - THE LOCATION AND ELEVATION OF ALL EXISTING INFRASTRUCTURE AND UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION OF ALL INFRASTRUCTURE AND UTILITIES PRIOR TO THE START OF PROCUREMENT & CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE CONSULTANT.
 - SYMBOLS SHOWN ON PLANS TO REPRESENT STRUCTURES (MANHOLES, CATCH BASINS, CURB STOPS, ETC.) ARE NOT TO SCALE.
 - ALL CURBS SHALL BE MOUNTABLE TYPE.
 - NEW UTILITY POLES SHOWN ON THESE PLANS ARE CONCEPTUAL IN NATURE. FINAL LOCATION TO BE PROVIDED BY NEW BRUNSWICK POWER CORPORATION.
 - FULL TIME INSPECTION BY THE ENGINEERING FIRM IS REQUIRED FOR THE INSTALLATION OF ALL UNDERGROUND INFRASTRUCTURE, AND ABOVE-GROUND WORK (CURB & ASPHALT).
 - DEVELOPER/CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED LOCATES BY UTILITIES AND TOWN OF SHEDIAC PRIOR TO START OF CONSTRUCTION.
 - ALL MATERIALS SHALL BE AS SPECIFIED IN THE TOWN OF SHEDIAC STANDARD MUNICIPAL SPECIFICATIONS. ANY DEVIATIONS FROM THE STANDARD MUNICIPAL SPECIFICATIONS SHALL BE SUBMITTED TO THE CONSULTANT FOR APPROVAL PRIOR TO INSTALLATION. MATERIALS THAT HAVE BEEN INSTALLED THAT DO NOT MEET THE STANDARD MUNICIPAL SPECIFICATIONS AND THAT HAVE NOT BEEN APPROVED BY THE CONSULTANT SHALL BE REPLACED AT THE CONTRACTOR'S COST.
 - ALL SANITARY SEWER MAINS AND MANHOLES INSTALLED OR AFFECTED SHALL BE TESTED AND VIDEO INSPECTED AS PER THE GREATER SHEDIAC SEWERAGE COMMISSION STANDARD SPECIFICATIONS. TESTING AND VIDEO INSPECTION SHALL BE PERFORMED UPON COMPLETION OF THE AGGREGATE BASE. FULL TIME INSPECTION BY THE CONSULTANT IS REQUIRED DURING VIDEO INSPECTIONS.
 - ALL STORM SEWER MAINS, AND LATERALS 100mm OR LARGER IN DIAMETER INSTALLED OR AFFECTED SHALL BE VIDEO INSPECTED UPON COMPLETION OF THE AGGREGATE BASE, AS PER THE TOWN OF SHEDIAC STANDARD MUNICIPAL SPECIFICATIONS. FULL TIME INSPECTION BY THE CONSULTANT IS REQUIRED DURING VIDEO INSPECTIONS.
 - CONTRACTOR IS RESPONSIBLE FOR THE TESTING AND DISINFECTION OF ALL NEW OR AFFECTED WATERMAINS, AS PER THE TOWN OF SHEDIAC STANDARD MUNICIPAL SPECIFICATIONS.
 - NO WATER VALVES SHALL BE OPERATED OR CONNECTION MADE TO THE EXISTING WATER SYSTEM WITHOUT PRIOR APPROVAL FROM THE TOWN OF SHEDIAC DEPARTMENT OF ENGINEERING AND PUBLIC WORKS.



CATCH BASIN SCHEDULE										
STRUCTURE	SIZE (mm Ø)	RIM ELEV. (m)	EASTING (m)	NORTHING (m)	INV. IN (m)	INV. OUT (m)	LEAD Ø (mm)	LEAD LENGTH & SLOPE	ICD Ø (mm)	COVER TYPE
DCB2A	1050	39.34	2653128.583	7470161.777		38.15 (TO SW)	150	9.4m @ 1.9%	108	GRATE
DCB2B	1050	39.34	2653132.387	7470154.243		38.15 (TO W)	150	11.8m @ 1.5%	95	GRATE

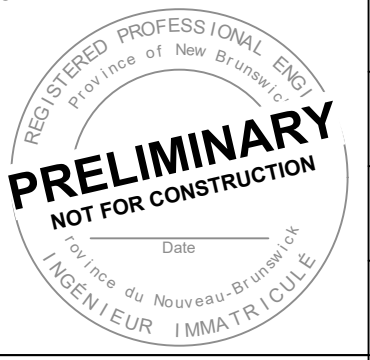
MANHOLE SCHEDULE							
STRUCTURE	MINIMUM Ø (mm)	RIM ELEV. (m)	EASTING (m)	NORTHING (m)	INV. IN (m)	INV. OUT (m)	COVER TYPE
SAMH1	1050	39.96	2653079.757	7470122.052	37.03 (FROM NE) 37.10 (FROM SE) 37.10 (FROM N)	37.00 (TO SW)	SOLID
SAMH2	1050	39.59	2653117.459	7470151.142	37.45 (FROM SE) 37.45 (FROM NW) 37.35 (FROM NE)	37.32 (TO SW)	SOLID
SAMH3	1050	39.67	2653152.946	7470169.351		37.67 (TO SW)	SOLID
STMH1	1050	39.91	2653076.892	7470123.439	37.54 (FROM NE)	37.51 (TO SW)	SOLID
STMH2	1050	39.46	2653120.839	7470156.444	37.92 (FROM SE) 37.85 (FROM NE) 37.97 (FROM NE) 37.97 (FROM E)	37.81 (TO SW)	SOLID
STMH3	1050	39.58	2653149.733	7470170.530		38.01 (TO SW)	SOLID

WATERMAIN FITTING SCHEDULE					
FITTING	SIZE (mm Ø)	ANGLE (°)	INV. (m)	EASTING (m)	NORTHING (m)
BEND1	200	11.25	37.76	2653082.098	7470120.155
BEND2	200	11.25	37.02	2653115.265	7470147.179
EC1	150		37.02	2653128.126	7470139.395
FH1	2.30m BURY		37.02	2653117.800	7470141.693
GV1	150		37.02	2653116.270	7470143.571
GV2	150		37.02	2653125.421	7470144.751
TEE1	200x150		37.02	2653114.102	7470146.232
TEE2	200x150		37.02	2653122.369	7470150.796
TSV1	200x200		37.63	2653197.372	7470188.975

WATER SERVICES CURB STOP/VALVE COORDINATES			
LOT	EASTING (m)	NORTHING (m)	FINISH GRADE ELEVATION (m)
26-1001	2653115.537	7470160.497	39.55
26-1000	2653086.639	7470138.359	39.84
26-1002	2653122.987	7470143.522	39.60
26-1003	2653083.693	7470115.032	39.97

MINIMUM RESTRAINT DISTANCE REQUIREMENT (m)					
DESCRIPTION	PIPE DIAMETER (mm)				
	100	150	200	250	300
DEAD ENDS, CAPS, PLUGS	7.0	10.1	13.1	15.8	18.9
VALVES	7.0	10.1	13.1	15.8	18.9
150x__x150 TEE (SEE NOTE 5)	0.3	0.3	-	-	-
200x__x200 TEE (SEE NOTE 5)	0.3	0.3	0.9	-	-
250x__x250 TEE (SEE NOTE 5)	0.3	0.3	0.3	3.7	-
300x__x300 TEE (SEE NOTE 5)	0.3	0.3	0.3	1.2	6.4
11.25° HORIZONTAL BEND (SEE NOTE 6)	0.3	0.6	0.6	0.6	0.9
22.50° HORIZONTAL BEND (SEE NOTE 6)	0.6	0.9	0.9	1.2	1.5
45.00° HORIZONTAL BEND (SEE NOTE 6)	1.2	1.5	1.8	2.4	2.7
90.00° HORIZONTAL BEND (SEE NOTE 6)	2.4	3.4	4.6	5.5	6.4
100x__ REDUCER	-	5.2	9.4	12.8	16.5
150x__ REDUCER	-	-	5.5	9.8	13.7
200x__ REDUCER	-	-	-	5.5	10.1
250x__ REDUCER	-	-	-	-	5.5

- ANY WATERMAIN JOINTS WITHIN INDICATED DISTANCE FROM FITTING TO BE MECHANICALLY RESTRAINED. DISTANCES ARE BASED ON THE FOLLOWING PARAMETERS:
- SAFETY FACTOR OF 1.5
 - TEST PRESSURE OF 1050kPa (150 PSI)
 - A 1.8m MIN. BURY DEPTH WITH A CLAY TYPE SOIL OF LOW TO MEDIUM PLASTICITY.
 - PVC WATERMAIN WITH STANDARD GRANULAR "A" EMBEDMENT MATERIALS IN SOILS WITH BEARING CAPACITY GREATER THAN 100kPa (TYPE 5 TRENCH).
 - RESTRAINT DISTANCE SHOWN IS ALONG THE BRANCH OF THE TEE CONNECTION. TABLE ASSUMES THAT THERE ARE A MINIMUM PIPE LENGTH OF 1.8m WITHOUT JOINTS ON BOTH SIDES OF THE TEE. CONFIRM WITH ENGINEER IF PIPE LENGTH IS LESS THAN 1.8m ALONG THE RUN OF THE TEE ON EACH SIDE.
 - VERTICAL BEND RESTRAINT REQUIREMENT VARIES FROM HORIZONTAL BENDS. CONFIRM WITH ENGINEER IF VERTICAL BENDS ARE REQUIRED.

A	ISSUED FOR PRELIMINARY REVIEW	2026-01-29
No.	DESCRIPTION	DATE
CIVIL CONSULTANT		
 JRD ENGINEERING LTD. INFO@JRDENG.CA 30 GORDON ST., SUITE 101 MONCTON, NB E1C 1L8		
PROJECT TITLE JOCELYNE STREET EXTENSION ROADWAYS, WATER & SEWER SERVICES SHEDIAC, NB		
DRAWING TITLE NOTES & DETAILS		
SCALE		
SEAL	DESIGNED BY AF	CHECKED BY PL
	DRAWN BY AF	CHECKED BY AK
	JOB No. 25-305E	DATE 2026-01-29
	DOCUMENT ISSUE REVIEW	
REVISION A	DRAWING NUMBER C-501	

From: [Nicholas Arseneau](#)
To: [Sophie Daigle](#); [Sylvain Montreuil](#); [Jonathan Chevarria](#); [Joey Frenette](#)
Cc: [Jeff Boudreau](#); [Frédéric Duclos](#)
Subject: Re: 26-0900: Ronald Martin Subdivision - Town/GSSC comments and LFPP
Date: Monday, July 6, 2026 9:08:07 AM
Attachments: [image001.png](#)
[image.png](#)
[25-305E - \(CWA IFR R-A \(2026-01-29\).pdf](#)

ATTENTION! External email / courriel externe

Bonjour Sophie,

Comme cette demande de lotissement est conditionnelle à l'extension de la rue Jocelyne, la création des lots ne pourra avoir lieu qu'une fois que la rue aura été cédée à la Ville et sera devenue une rue publique. Cette exigence sera incluse comme condition dans l'entente de lotissement (Subdivision Development Agreement) qui sera conclue entre la Ville et le développeur.

J'ai également les commentaires suivants concernant l'accès au développement proposé sur ces lots:

- L'entrée de stationnement desservant les lots 26-1002 et 26-1003 semble être partagée. De plus, certaines cases de stationnement semblent empiéter sur la ligne de propriété entre les deux lots. Si cette infrastructure est destinée à être partagée, une servitude privée (Private Easement / Right-of-Way) devrait être enregistrée sur les propriétés concernées et clairement identifiée sur le plan de lotissement.
- L'entrée de stationnement desservant les lots 26-1000 et 26-1001 semble également être partagée. Si cette infrastructure est destinée à être partagée, une servitude privée (Private Easement / Right-of-Way) devrait être enregistrée sur les propriétés concernées et clairement identifiée sur le plan de lotissement.

Il n'est pas nécessaire que ces servitudes soient établies à cette étape du processus de lotissement; toutefois, elles devraient être mises en place avant l'émission de tout permis de construction.

En ce qui concerne le drainage, je n'ai pas reçu de plan de drainage pour ces nouveaux lots. Je n'ai donc aucun commentaire spécifique à ce stade. Les exigences habituelles de la Ville en matière de drainage demeureront applicables lors de la soumission des plans détaillés.

Merci!

Nicholas Arseneau, P.Eng

Ingenieur Civil - Développement | Civil Engineer – Development
Ville de Shédiac - Town of Shédiac

From: [Joey Frenette](#)
To: [Sophie Daigle](#); [Nicholas Arseneau](#); [Sylvain Montreuil](#); [Jonathan Chevarie](#)
Cc: [Jeff Boudreau](#); frederic.duclos@shediac.ca
Subject: RE: 26-0900: Ronald Martin Subdivision - Town/GSSC comments and LFPP
Date: Tuesday, June 23, 2026 12:20:17 PM
Attachments: [image001.png](#)

ATTENTION! External email / courriel externe

Sophie,

La CÉSB n'a pas de commentaires.

Joey

Joey Frenette, B.Sc., PTech

General Manager/Directeur général

The Greater Shediac Sewerage Commission/La Commission des Égouts Shediac et
Banlieues

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